



**BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO**

406 Justice Drive, Lebanon, Ohio 45036

www.co.warren.oh.us

commissioners@co.warren.oh.us

Telephone (513) 695-1250

Facsimile (513) 695-2054

TOM GROSSMANN

SHANNON JONES

DAVID G. YOUNG

GENERAL SESSION AGENDA

August 20, 2024

- #1** *Clerk—General*
- #2** **9:05** *ADMINISTRATIVE HEARING— Union Village Special District 3A
PUD Stage 2 in Turtlecreek Township*
- #3** **9:20** *ADMINISTRATIVE HEARING— Southwest Golf Ranch PUD Stage
2 in Union Township*

The Board of Commissioners' public meetings can now be streamed live at [Warren County Board of Commissioners - YouTube](#)

APPROVING REQUISITIONS AND AUTHORIZING THE COUNTY ADMINISTRATOR
TO SIGN DOCUMENTS RELATIVE THERETO

BE IT RESOLVED, to approve requisitions as listed in the attached document and authorize Martin Russell, County Administrator, to sign on behalf of this Board of County Commissioners.

M. moved for adoption of the foregoing resolution being seconded by M. Upon call of the roll, the following vote resulted:

M
M
M

Resolution adopted this day of 2024.

BOARD OF COUNTY COMMISSIONERS

Krystal Powell, Clerk

/kp

cc: Commissioners' file

REQUISITIONS

Department	Vendor Name	Description	Amount
WAT	BECKMAN ENVIRONMENTAL SERV INC	SEW 60HP EBARA SUBMERSIBLE PUM	\$ 36,500.00 *capitalpurchase/ sole source
TEL	MOBILCOMM INC	TEL PAGING MAINTENANCE SERVICE	\$ 6,798.00 *contract in packet
TEL	MOBILCOMM INC	TEL MICROWAVE MAINTENANCE SERV	\$ 12,854.40 *contract in packet
TEL	MOBILCOMM INC	TEL RADIO AND INFRASTRUCTURE M	\$ 1,494.00 *contract in packet
TEL	MOBILCOMM INC	TEL BDA (BI-DIRECTIONAL AMPLIF	\$ 1,200.00 *contract in packet
FAC	GARBER ELECTRICAL CONTRACTORS INC	FAC ELECTRICAL REPAIR	\$ 298,300.00 *emergency repair/ resolution in packet
TEL	BUCKEYE POWER SALES CO INC	TEL BUCKEYE POWER SALES TOWER	\$ 2,780.00 *contract in packet
BOC	GARBER ELECTRICAL CONTRACTORS INC	FAC BLANKET FOR ELECTRICAL SER	\$ 5,000.00 *emergency repair/ resolution in packet

PO CHANGE ORDERS

Department	Vendor Name	Description	Amount
WAT	KT HOLDEN CONSTRUCTION	WAT SOCIAL WATERMAIN PROJ	\$69,644.68 *increase/ contract in packet

8/20/24 APPROVED:

Martin Russell, County Administrator

CONSENT AGENDA*

August 20, 2024

Approve the minutes of the August 6, 2024 Commissioners' General Session Meeting, August 6, 2024 Work Session Meeting, and August 13, 2024 General Session Meeting.

PERSONNEL

1. **Hire Madelyn Buckley as Fellowship Student and Heather Sykora as Assessment/ Investigative Caseworker II within Children Services**
2. **Approve end of 365- day probationary period and pay increase for Ray Dratt within Building and Zoning and Mitchell Viars within W/S**
3. **Approve wage increase for Kelly Fiebig within Emergency Services**
4. **Accept resignation of Emma Wilcox within Children Services**

GENERAL

5. **Cancel the regularly scheduled Commissioners' Meeting of Thursday, August 22, 2024**
6. **Declare an emergency and waive competitive bidding for the immediate replacement of the electrical switchgear at the Common Pleas Court Building**
7. **Approve emergency replacement of the air conditioning unit at the Todd's Fork Lift Station**
8. **Transfer a vehicle no longer being utilized to the Warren County Park Board**
9. **Enter into agreement with the University of Kentucky on behalf of Children Services**
10. **Enter into cooperative agreement with Butler County for the Butler Warren Road / Irwin Simpson Road Intersections Improvements on behalf of the Engineer**
11. **Enter into agreement with Lavish Salon and Spa and Fortis College on behalf of OhioMeansJobs Warren County**
12. **Enter into agreements with Mobilcomm Inc. on behalf of Telecommunications**
13. **Accept quote from Buckeye Power Sales Co., Inc. on behalf of Telecommunications**
14. **Approve Change Order No. 2 to the contract with KT Holden Construction, LLC for the Socialville Transmission Watermain- Contract 3 Project**
15. **Acknowledge payment of bills**
16. **Approve various performance bond reductions, bond releases, and street acceptances**

FINANCIALS

17. **Approve an operational transfer from Commissioners' into Human Services**
18. **Accept an amended certificate and approve a supplemental appropriation for Grants Administration**
19. **Accept an amended certificate and approve a supplemental appropriation and cash advance for Fund 4459**
20. **Approve appropriation adjustment from Commissioners into Children Services for payout**
21. **Approve appropriation adjustments within Economic Development, Common Pleas, and Telecommunications**

***Please contact the Commissioners' Office at (513) 695-1250 for additional information or questions on any of the items listed on the Consent Agenda**



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SHANNON JONES
DAVID G. YOUNG**

BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO

MINUTES: Regular General Session – August 6, 2024

This is a summary of actions and discussions of the meeting. You may view this meeting through our YouTube Channel at <https://www.youtube.com/channel/UC1ELh0jGpXd4VV2DTgsuqPA> or by contacting our office.

The Board met in regular session pursuant to adjournment of the July 30, 2024, meeting.

David G. Young – present

Shannon Jones – present

Tom Grossmann – present

Krystal Powell, Clerk – present

- 24-0997 A resolution was adopted hiring Taylor Tolle as Foster Care Caseworker within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 24-0998 A resolution was adopted hiring Bethlyn Recker as Foster Care Caseworker I, within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 24-0999 A resolution was adopted hiring Johnna Dorsey as an Assessment/Investigative Caseworker II within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 24-1000 A resolution was adopted accepting the resignation of Emily Gibson, Protective Services Caseworker II, within the Warren County Department of Job and Family Services, Children Services Division. Vote: Unanimous
- 24-1001 A resolution was adopted approving appointments to the Rural Zoning Board of Appeals. Vote: Unanimous
- 24-1002 A resolution was adopted cancelling the regularly scheduled Commissioners' meeting of Thursday, August 08, 2024. Vote: Unanimous

- 24-1003 A resolution was adopted approving the emergency replacement to the breaker on the motor control cabinet of the Aeration Blower #2 located at the Lower Little Miami Wastewater Treatment Plant. Vote: Unanimous
- 24-1004 A resolution was adopted approving and entering into a clear government fraud agreement with West Payment Center – Thomson Reuters West Publishing. Vote: Unanimous
- 24-1005 A resolution was adopted approving addenda to agreement with Step Higher Inc. – Nella’s Place relative to home placement and related services on behalf of Warren County Children Services. Vote: Unanimous
- 24-1006 A resolution was adopted entering into a permanent easement agreement with Jack Lee Sayer and Lavonna Bonnie Sayer for the Dry Run Road Bridge #81-1.22 Replacement Project. Vote: Unanimous
- 24-1007 A resolution was adopted authorizing the County Engineer to execute Ohio Department of Transportation LPA Federal/State Exchange Project agreement with the Ohio Department of Transportation (ODOT) for the Township Line Road Bridge #134-3.76 Replacement Project (PID #118471) over Newmans Run. Vote: Unanimous
- 24-1008 A resolution was adopted approving change order No. 1 to the contract with JK Meuer Corp for the FY24 Butlerville – Final Phase of Road Improvement Community Development Block Grant project. Vote: Unanimous
- 24-1009 A resolution was adopted entering into classroom training agreements on behalf of OhioMeansJobs Warren County. Vote: Unanimous
- 24-1010 A resolution was adopted entering into a lease agreement with Pitney Bowes for a letter opener to be used in the Treasurer’s Office. Vote: Unanimous
- 24-1011 A resolution was adopted authorizing amendment No. 1 to the master service agreement with Choice One Engineering and approving a purchase order for the Interstate 75 Waterline Crossing Project. Vote: Unanimous
- 24-1012 A resolution was adopted entering into a master service agreement with Strand Associates, Inc. for Waterline and Sanitary Sewer Design Services for 2024-2026. Vote: Unanimous
- 24-1013 A resolution was adopted authorizing amendment No. 1 to the engineering agreement with Wessler Engineering, Inc., increasing purchase order No. 24001158 for the design of the Middletown Junction Wellfield. Vote: Unanimous
- 24-1014 A resolution was adopted acknowledging receipt of July 2024 financial statement. Vote: Unanimous

- 24-1015 A resolution was adopted acknowledging payment of bills. Vote: Unanimous
- 24-1016 A resolution was adopted approving various record plats. Vote: Unanimous
- 24-1017 A resolution was adopted approving a supplemental appropriation into the Local Fiscal Recovery Enhanced Child Care Assistance fund 2211. Vote: Unanimous
- 24-1018 A resolution was adopted approving an appropriation adjustment from Commissioners General fund #11011110 into Juvenile Court fund #11011240. Vote: Unanimous
- 24-1019 A resolution was adopted approving appropriation adjustments within Common Pleas Court fund #11011220. Vote: Unanimous
- 24-1020 A resolution was adopted approving an appropriation adjustment within Facilities Management fund #11011600. Vote: Unanimous
- 24-1021 A resolution was adopted approving an appropriation adjustment within Sheriff's Office fund #11012200. Vote: Unanimous
- 24-1022 A resolution was adopted approving an appropriation adjustment within Building and Zoning Department fund #11012300. Vote: Unanimous
- 24-1023 A resolution was adopted approving an appropriation adjustment within Telecommunications Department fund #11012810. Vote: Unanimous
- 24-1024 A resolution was adopted approving appropriation adjustments within Engineer's Office funds #11011750 and #2202. Vote: Unanimous
- 24-1025 A resolution was adopted approving an appropriation adjustment within Juvenile Court fund #2247. Vote: Unanimous
- 24-1026 A resolution was adopted approving appropriation adjustments within Children Services fund #2273. Vote: Unanimous
- 24-1027 A resolution was adopted approving an appropriation adjustment within Common Pleas Court Community Based Corrections Donation fund #2288. Vote: Unanimous
- 24-1028 A resolution was adopted approving an appropriation adjustment within Water Revenue fund #5510. Vote: Unanimous
- 24-1029 A resolution was adopted approving requisitions and authorizing the County Administrator to sign documents relative thereto. Vote: Unanimous
- 24-1030 A resolution was adopted authorizing the President of the Board to enter into a Temporary Revocable License agreement with Citygate Church relative to temporary use of Warren County property. Vote: Unanimous

- 24-1031 A resolution was adopted allocating American Rescue Plan Act funds towards the Moreland Acres and Socialville Transmission Watermain projects and transferring to the Warren County Water and Sewer Department. Vote: Unanimous
- 24-1032 A resolution was adopted approving a supplemental appropriation into Local Fiscal Recovery fund #2211. Vote: Unanimous
- 24-1033 A resolution was adopted authorizing the Board to participate in, and not opt-out of, settlement agreements with Tyco Fire Products, Chemguard and related entities, and BASF Corporation, in the public water system's portion of the multi-district litigation matter, as a partial settlement of Warren County's claims in PFAS litigation and authorize the County Administrator or Deputy County Administrator to sign all documents relative thereto. Vote: Unanimous

DISCUSSIONS

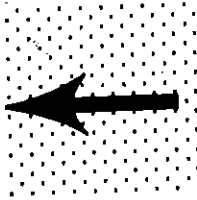
On motion, upon unanimous call of the roll, the Board accepted and approved the consent agenda.

Upon motion the meeting was adjourned.

David G. Young, President

Tom Grossmann

Shannon Jones



I hereby certify that the foregoing is a true and correct copy of the minutes of the meeting of the Board of County Commissioners held on August 6, 2024, in compliance with Section 121.22 O.R.C.

Krystal Powell, Clerk
Board of County Commissioners
Warren County, Ohio



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BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO

MINUTES: Regular Work Session – August 6, 2024

This is a summary of actions and discussions of the meeting. You may view this meeting through our YouTube Channel at <https://www.youtube.com/channel/UC1ELh0jGpXd4VV2DTgsuqPA> or by contacting our office.

The Board met in regular session pursuant to adjournment of the August 6, 2024, General Session meeting.

David G. Young – present

Shannon Jones – present

Tom Grossmann – present

Krystal Powell, Clerk – present

24-1034 A resolution was adopted authorizing a cooperative agreement with the Warren County Port Authority pursuant to the Memorandum of Understanding dated October 10, 2023, for purposes of developing the Cincinnati Open Tennis Tournament. Vote: Unanimous

DISCUSSIONS

On motion, upon unanimous call of the roll, the Board accepted and approved the consent agenda.

The Board this 6th day of August 2024 presented the scholarship check to Sinclair Community College for Warren County residents to receive a scholarship in the form of a tuition credit for classes at the Mason Campus.

Madeline Iseli, Senior Vice-President for Advancement at Sinclair Community College, was present along with Dr. Steven Johnson, President and Chief Executive Officer, and presented the attached PowerPoint presentation and received the check on behalf of Sinclair Community College.

Barney Wright, Warren County Treasurer, was present for a meeting of the Investment Advisory Board.

Mr. Wright stated the County received a slight increase in the interest rates for July for the 120 million dollars invested in Star Ohio. He also stated the Investment Advisory Board is working on investing funds in accounts with longer terms and extending current maturities.

Matt Schnipke, Director of Development, was present for a work session to discuss the cooperative agreement with the Warren County Port Authority relative to the Cincinnati Open Tennis Tournament.

Mr. Schnipke stated Economic Development drafted a cooperative agreement based off of the Memorandum of Understanding dated October 10, 2023, with Beemok Sports, LLC, the City of Mason, Mason Port Authority, and the Warren County Port Authority that outlined the provision of funds Warren County would contribute towards the retention and development of the Cincinnati Open Tennis Tournament. He further stated the cooperative agreement would allow the transfer of funds to the Warren County Port Authority to pay for the County's portion of the tournament.

Upon discussion, the Board resolved (Resolution #24-1034) to authorize a cooperative agreement with the Warren County Port Authority pursuant to the Memorandum of Understanding dated October 10, 2023, for purposes of developing the Cincinnati Open Tennis Tournament.

Josh Hisle, Deputy Director of OhioMeansJobs Warren County, was present along with Tanya Sellers, Deputy Director of Children Services and Joel King, Superintendent of Warren County Career Center and presented the attached PowerPoint presentation outlining the purpose of their NACO Counties for Career Success initiative.

Upon motion the meeting was adjourned.

David G. Young, President

Tom Grossmann

Shannon Jones

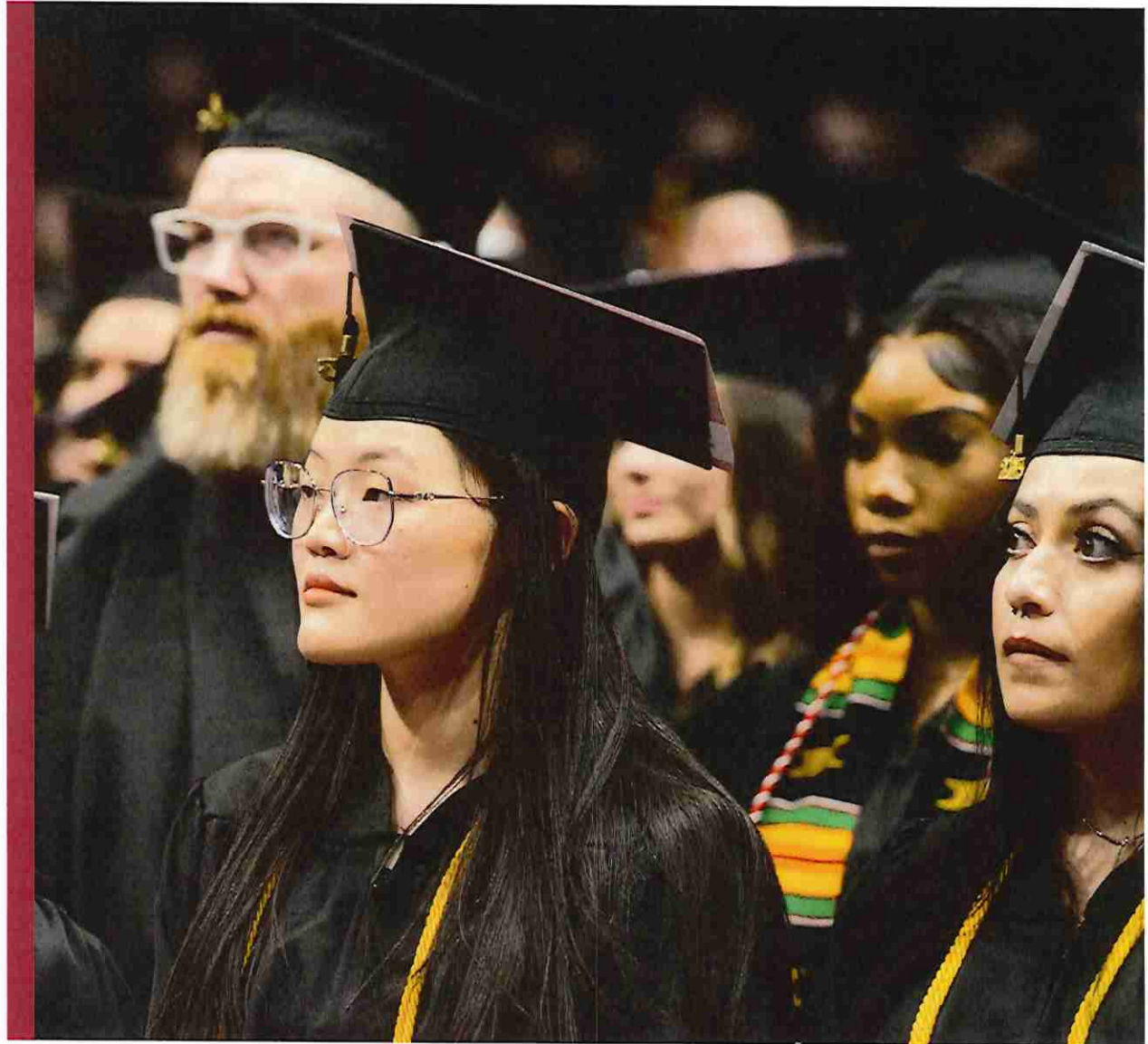


I hereby certify that the foregoing is a true and correct copy of the minutes of the meeting of the Board of County Commissioners held on August 6, 2024, in compliance with Section 121.22 O.R.C.

Krystal Powell, Clerk
Board of County Commissioners
Warren County, Ohio

Sinclair College Update to the Warren County Commission

August 6, 2024



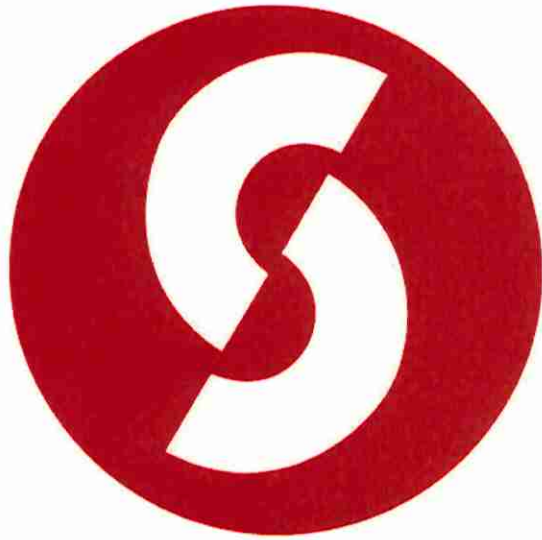


David A. Sinclair

**“Find the need and
endeavor to meet it”**

In 1887 Dayton YMCA General Secretary David Sinclair founded the courses of study that eventually became Sinclair College. Sinclair has always developed skilled citizens to succeed in jobs and life in this region.

CELEBRATING 138 YEARS

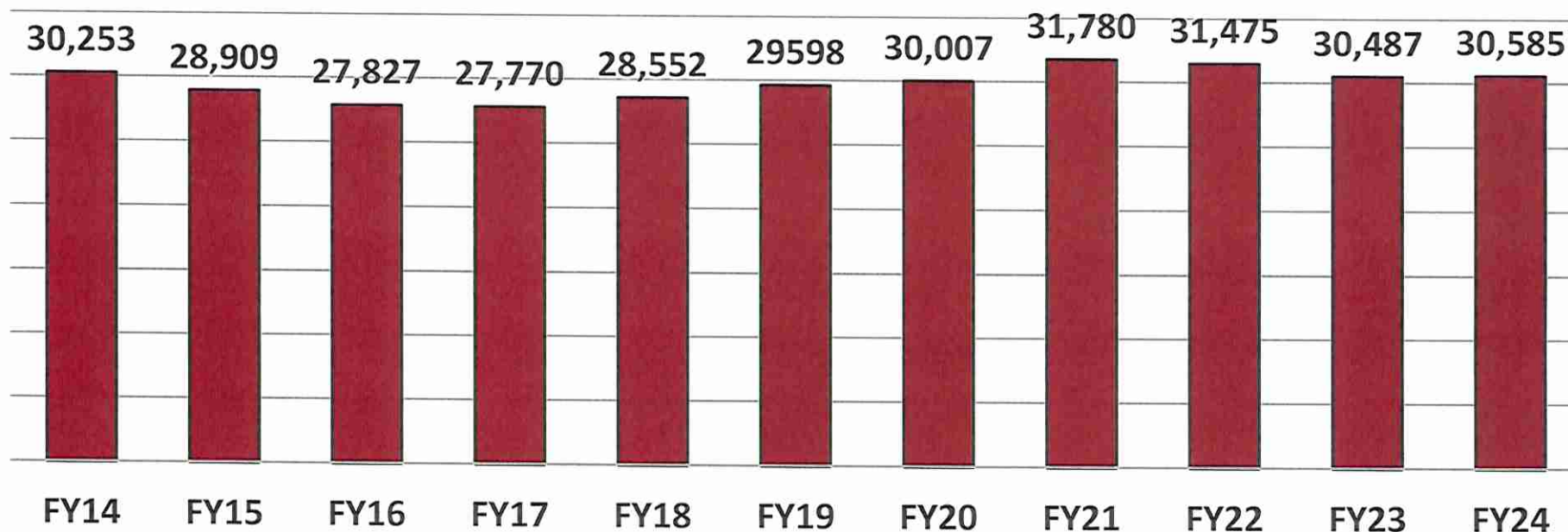


SINCLAIR

STRATEGIC PRIORITIES

Alignment | Growth | Equity

Sinclair College Student Headcount Enrollment by Fiscal Year

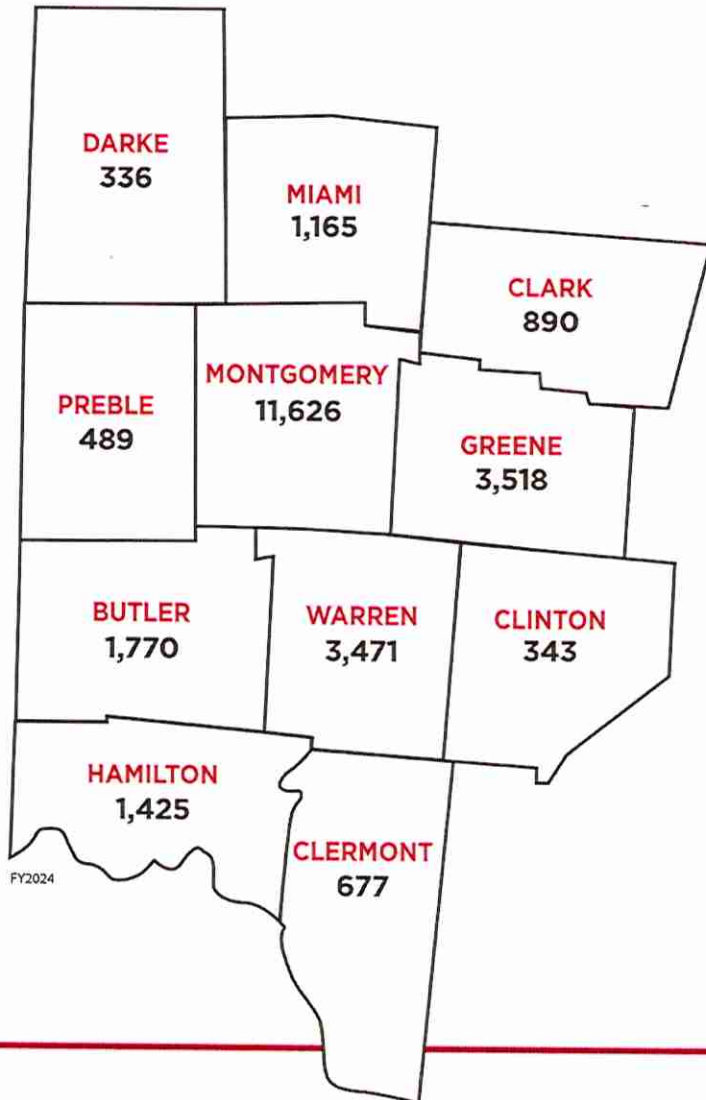


Internal RAR Data, July 2024



Sinclair College Credit Students by County of Residency

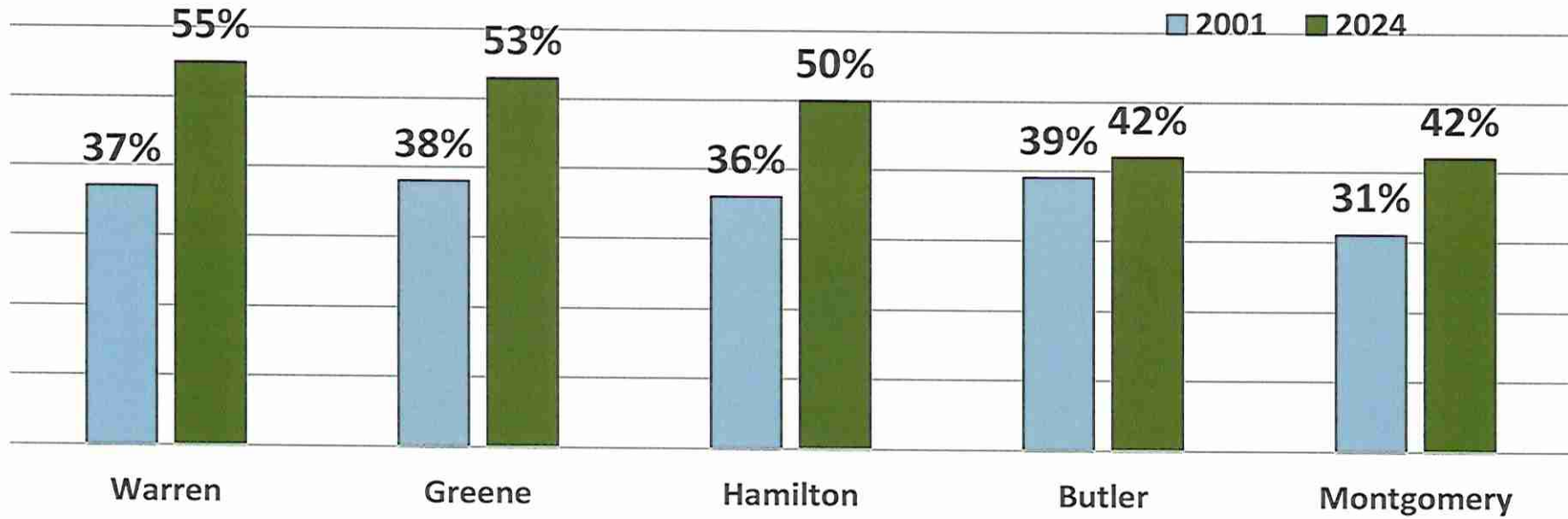
Unduplicated Headcount
Students FY2024



Warren County Student Success Rates and Numbers are Increasing . . .

Educational Attainment Rates of Select SW Ohio Counties (2001 vs. 2024)

Adults 25+ with an Associate Degree or Higher



Note: to obtain the population with an Associate degree or higher for this timeframe, only the population aged 25 or older is available (ACS series 1501)

Warren County Colleges of Choice

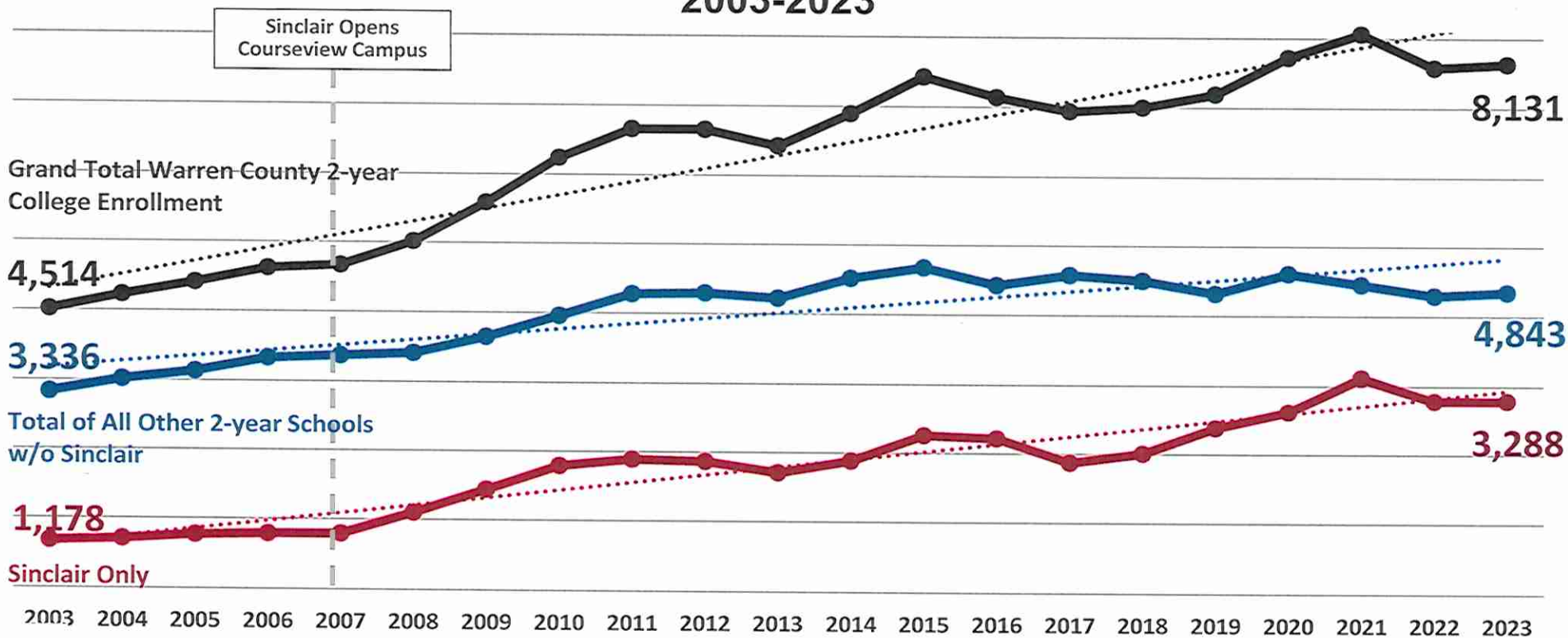
(Annual Unduplicated Headcount Enrollment, Ranked by FY 2021 Enrollment)

Institution	FY 2019	FY 2023	Number Change	Percent Change
1. University of Cincinnati (Main Campus)	3,300	3,765	465	14%
2. Sinclair Community College	2,878	3,288	410	14%
3. Ohio State University (Main Campus)	1,350	1,395	45	3%
4. Miami University (Oxford)	1,562	1,335	(227)	(15%)
5. Wright State University (Main Campus)	299	590	291	97%
6. Ohio University (Main Campus)	567	565	(2)	0%
7. Cincinnati State	580	543	(37)	(6%)
8. Bowling Green State University	237	219	(18)	(8%)
9. Hocking College	97	103	6	6%
10. Columbus State	93	95	2	2%
Total	10,963	11,898	935	9%

Warren County Total Enrollment in all Two-Year Colleges

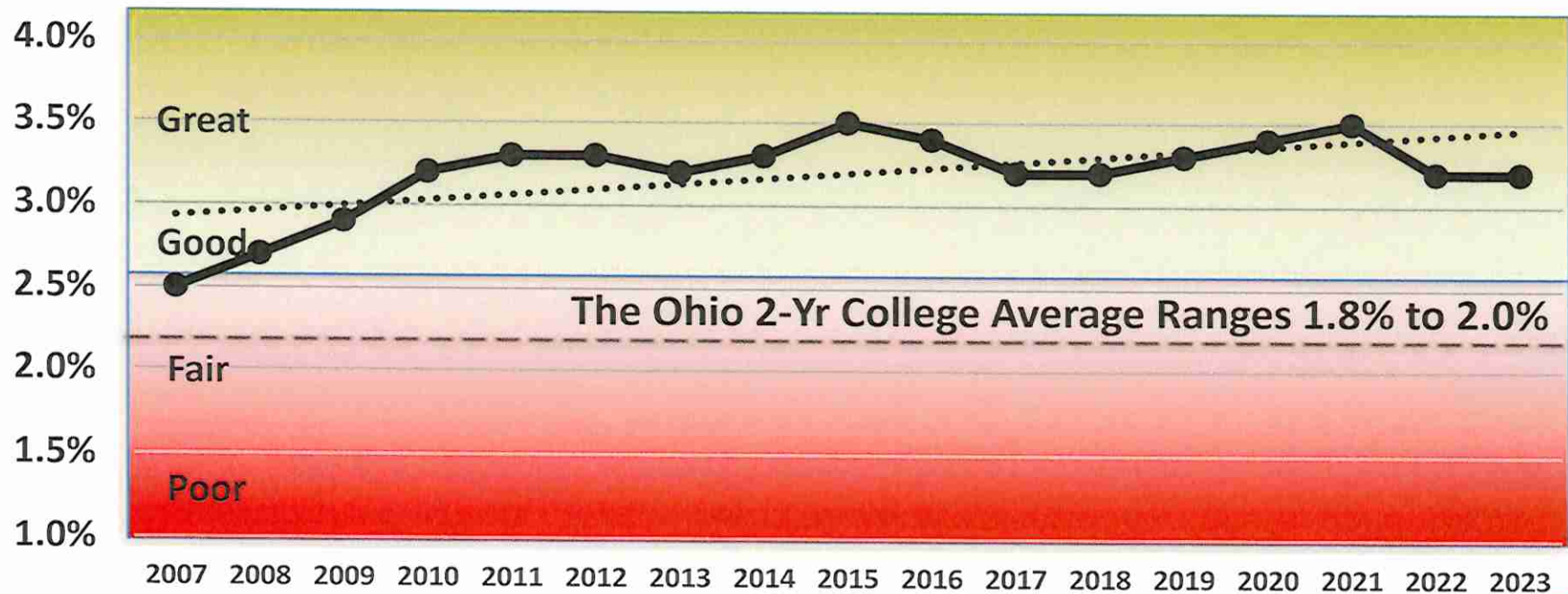
(Includes University Branch Campuses)

2003-2023



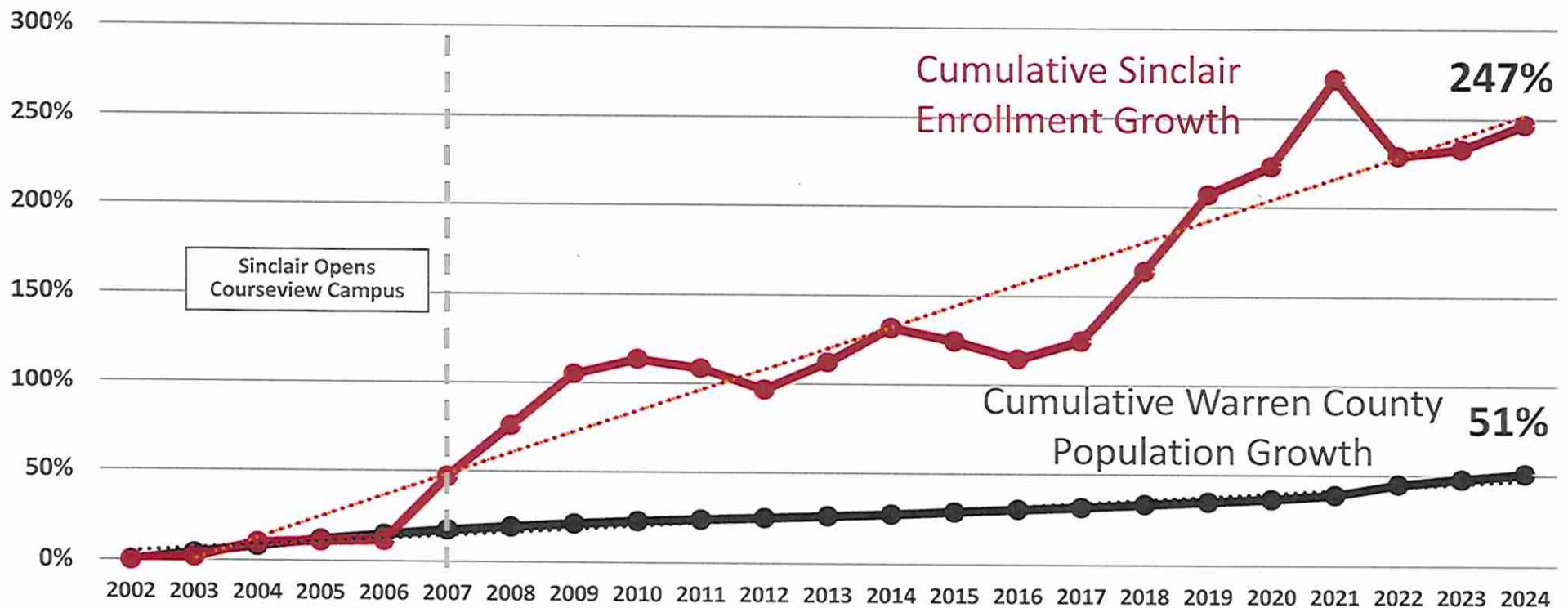
Percent of Warren County Residents Enrolled in Any 2-Year Colleges

(community colleges, branch campuses, career centers)

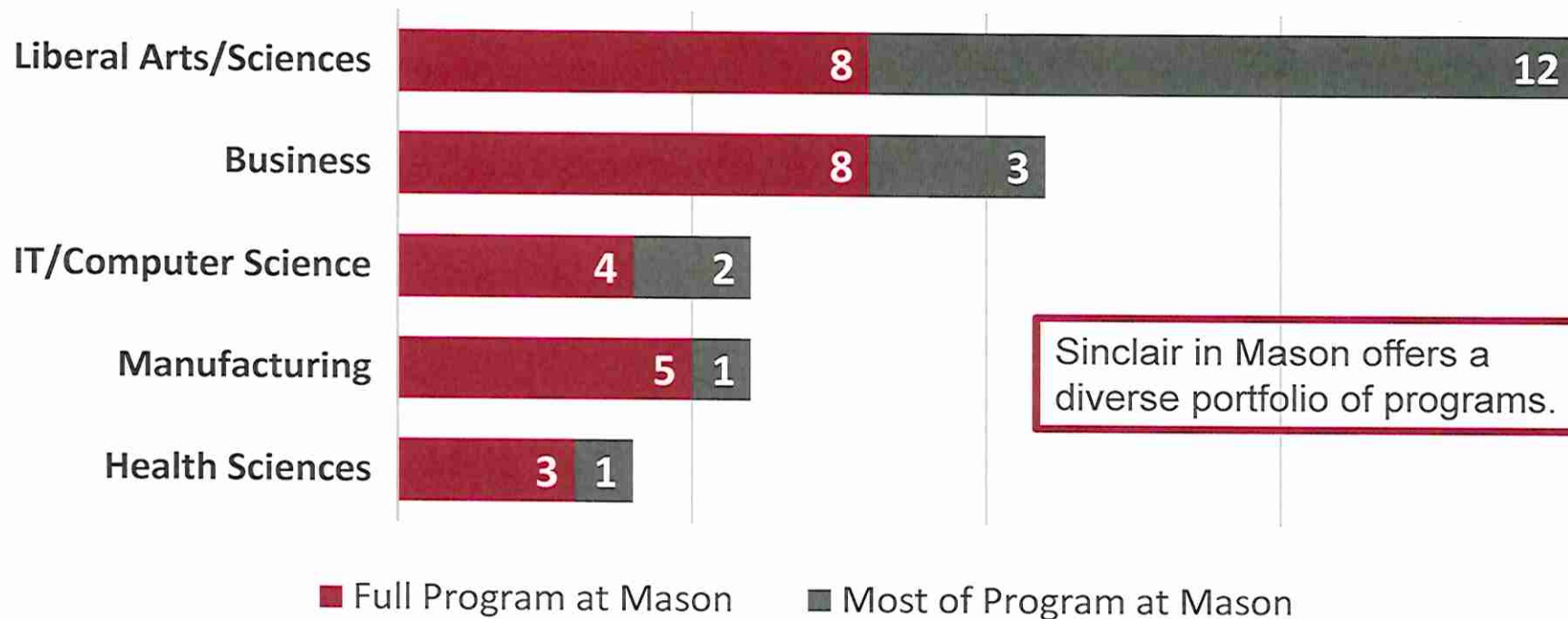


Cumulative Sinclair Enrollment Growth vs. Cumulative Warren County Population Growth

Year Over Year Cumulative Percent Change, 2002-2024



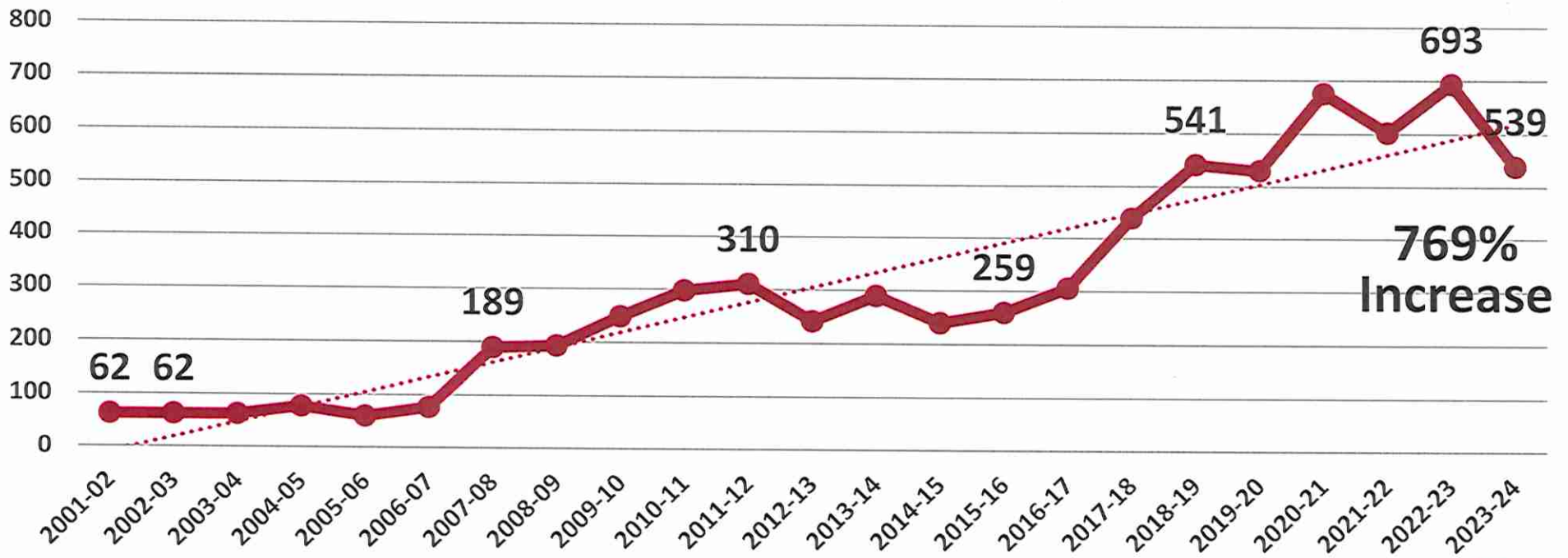
Mason Campus Programs



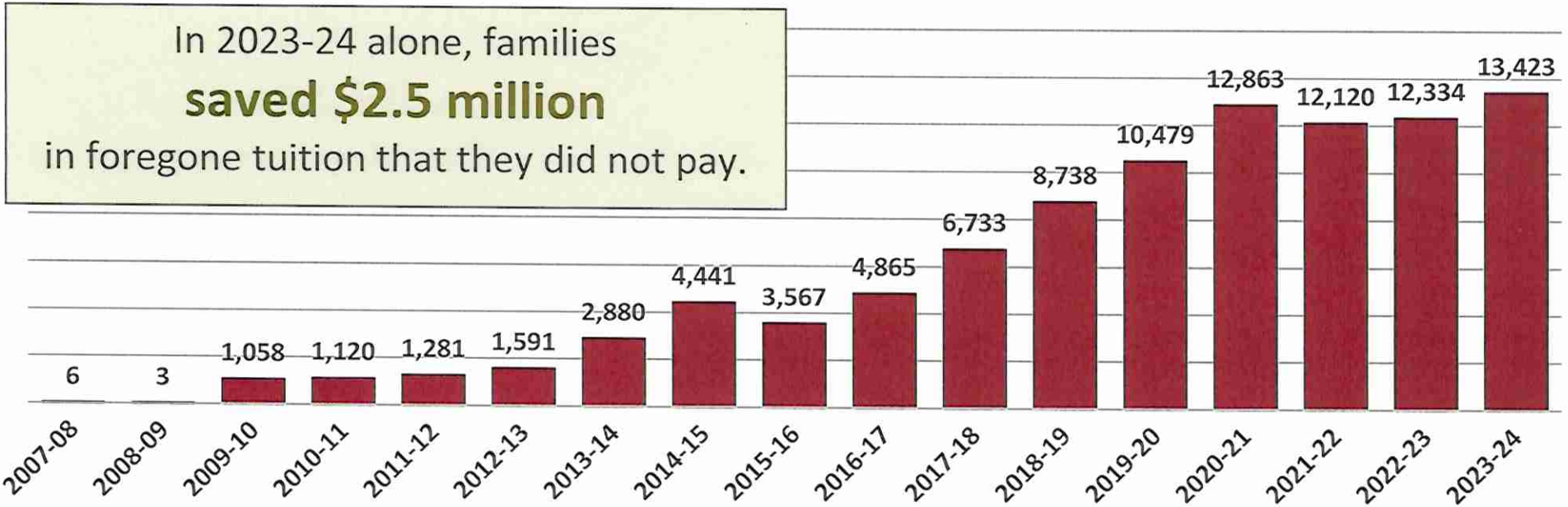
Sinclair in Mason offers a diverse portfolio of programs.

Sinclair Credentials Earned by Warren County Residents

By Academic Year

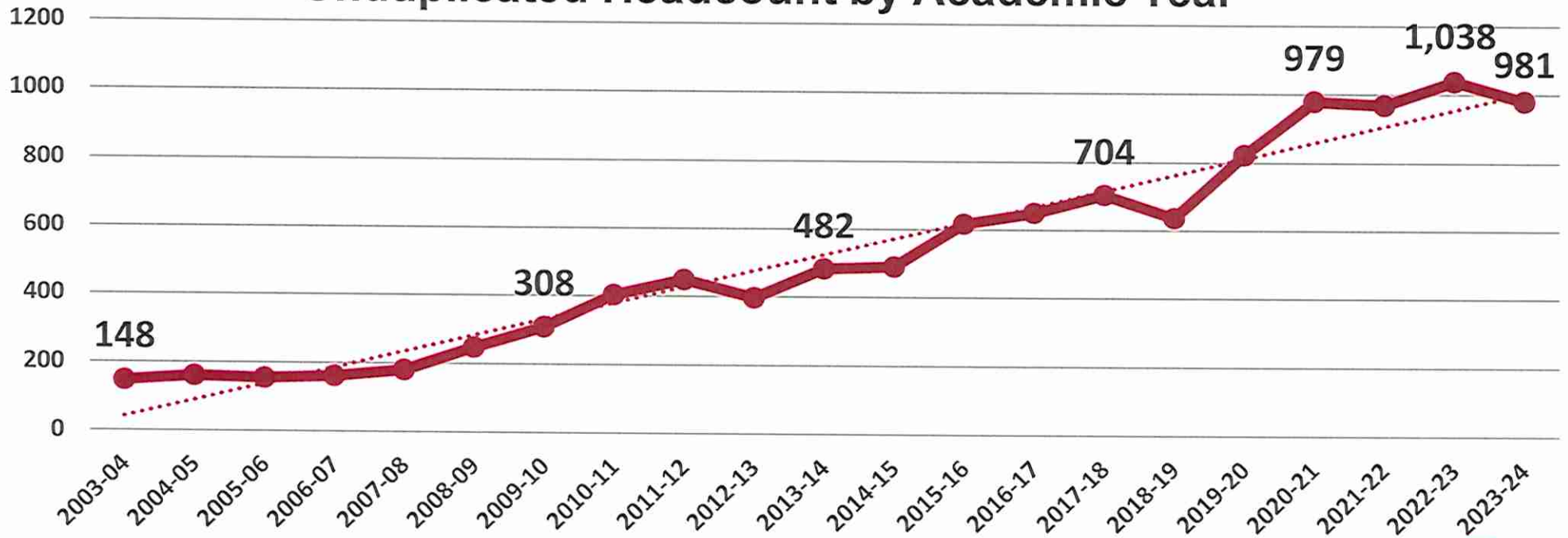


Credit Hours Earned Annually by Dual Enrolled Warren County High School Students

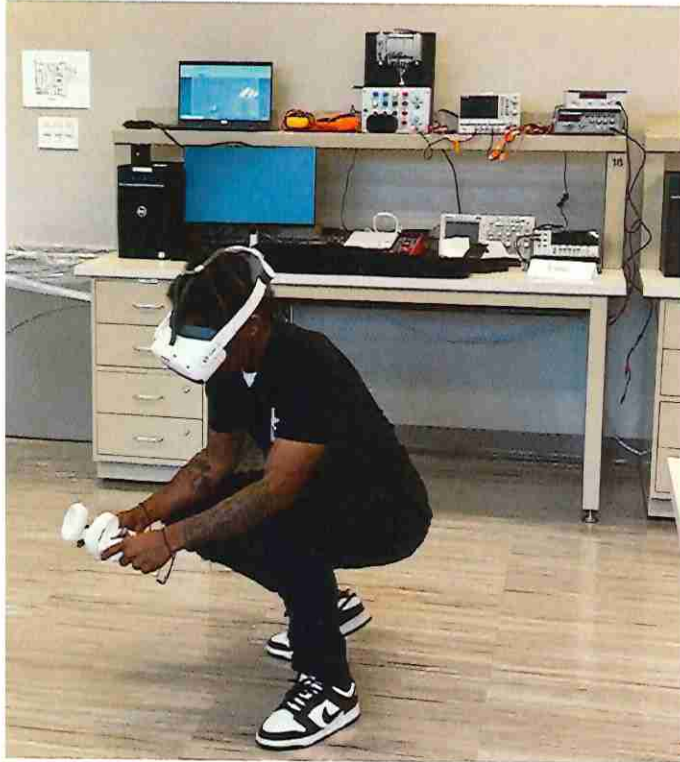


Sinclair Warren County Students Transferring to 4-year Universities

Unduplicated Headcount by Academic Year



New Developments at Sinclair Mason . . .



Virtual Reality Training with MANE

- New Employee Safety Training
- Up to 8 new hires every 2 weeks
- 5 Modules:
 - Situational Awareness
 - Manual Lifting
 - Hoists and Cranes
 - Lockout-Tagout
 - Fire Extinguisher

2023-24 Pre-Professional Academy Success!

WCESC / Sinclair Fridays

Four Six-Week Rotations

September 1, 2023 – May 17, 2024

9:00 a.m. – 1:05 p.m.

Pilot Program for 11th/12th Graders to:

- Earn industry-recognized credentials
- Improve teamwork and employability skills
- Meet local employers and visit jobsites
- Explore local career opportunities
- Learn how their gifts and talents can contribute to the county's vibrant economy



Warren County
Educational Service Center



SINCLAIR
COLLEGE

MASON



PILOT PARTNERS

FESTO

the **Y**
YMCA

GREAT WOLF LODGE

GMI
companies.

WARREN COUNTY
Sheriff's Office

CITY OF MASON OHIO
more than you imagine.

SEASONS BEST

BEST BUY

DARANA HYBRID
ELECTRO-MECHANICAL SOLUTIONS

Health
West Chester Hospital

Visit CINCY

MANORHOUSE
Event Center

TELECOM

Miami Valley
GAMING

ADVIOS

warren county
ohio's largest playground

warren county sports park
at Union Village

EPIK

TMF
METAL SOLUTIONS

THE HUNT FOR GOOD

Arts Alliance

Ohio MEANS Jobs | Warren County
A proud partner of the American Job Center network

Junior Achievement
of OKI Partners

altafiber

HAMILTON TWP
FIRE RESCUE

Kings Island

Premier Health

Pre-Professional Academy 2023-24 Outcomes

Industry Recognized Credentials Earned

- Stop the Bleed - **26**
- CPR/First Aid/
Bloodborne Pathogens - **42**
- OSHA-10 / General Industry - **6**
- Ohio Means Jobs Readiness Seal - **19**
- Certified Tourism Ambassador - **27**

Professional Development

- Functional Finance
- Teamwork Makes Teams Work
- The Art of Giving Feedback
- Etiquette: The Style of Life
- Cognitive Diversity – Great Teams Think Differently
- The Power of the First Impression
- YouScience
- Stephen Covey's The Leader in Me

100 students attended at least 1 Friday in the 2023-24 school year

Will be a registered Pre-Apprenticeship in 2024-25, which is a 12-point credential towards high school graduation

STNA Partnership with Warren County Career Center

WCCC will offer the in-person lab portion of their hybrid online State Tested Nurse Aide course at the Mason campus for students living in the southern part of the county







Warren County Commission Scholarship Update. . .

Warren County Commissioners Scholarship

\$945,590

Donated and Awarded
Since 2007 to

7,126 Students

Warren County Commissioners Scholarship

\$57,463 in scholarship dollars
was awarded to **654 students** from
Fall 2023 to Fall 2024.

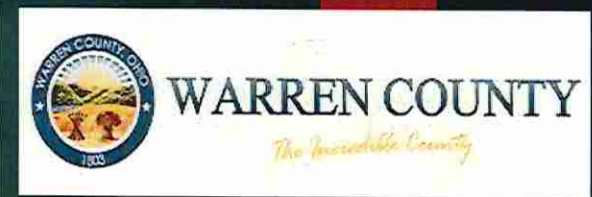
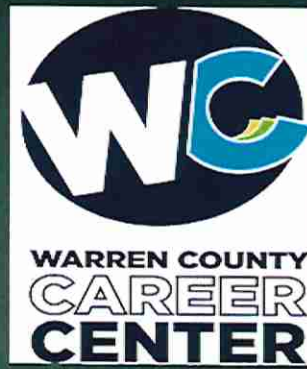


Samantha Montgomery

“The scholarship given to me from the Warren County Commissioners helped increase my book budget, which helped relieve some of my anxiety from the cost of college.”



Thank You



NaCO C4CS: Warren County Youth Workforce Development

DELIVERING THE FULL MEASURE OF DEVELOPMENT FROM BEYOND OUR SILOS

NaCO: C4CS

NaCo's Counties for Career Success (C4CS) is an initiative that recognizes the role of counties in streamlining pathways to good jobs and supporting individuals on those learning journeys.

- Compare barriers around the country and hear of other's solutions
- De-Silo to get the most out of the programs and funding that already exists
- Gather data and share results (replicate)



Mission: Economic Empowerment

If the mission is economic empowerment through work; what are the barriers that prevent people from achieving this goal? What can we do to mitigate these barriers?

- **Income:** Low income participants are eligible for TANF services
- **Transportation:** TANF eligible youth have access to driver's education through OMJ and the CCMEP team, as well as an additional grant from the Warren County ESC.
- **Childcare, Pregnant, or Parenting:** The Warren County Childcare Scholarship Program through Human Services can be accessed now, through OMJ and HUM. Children's Services will provide non-punitive services to help support responsible parenting as the participant navigates through their education, training, and job placement. This barrier is the most challenging, but with the collaboration we have here, we have a good shot at mitigating barriers like this in real-time.

How we collaborate:

- CCMEP TANF funds the eligible youth at the WCCC
- The WCCC trains them and finds them a worksite
- CCMEP TANF provides paid work experience
- Children's Services helps us mitigate the life barriers that we cannot help with

WIN-WIN: We don't need any additional funding and our barrier mitigation strategy will save the county money (in services) down the line.

C4CS Project/Action Plan

Our goal was to establish a collaborative program, utilizing the support from all of our respective programs, to see participants through training and into employment, mitigating all barriers along the way.

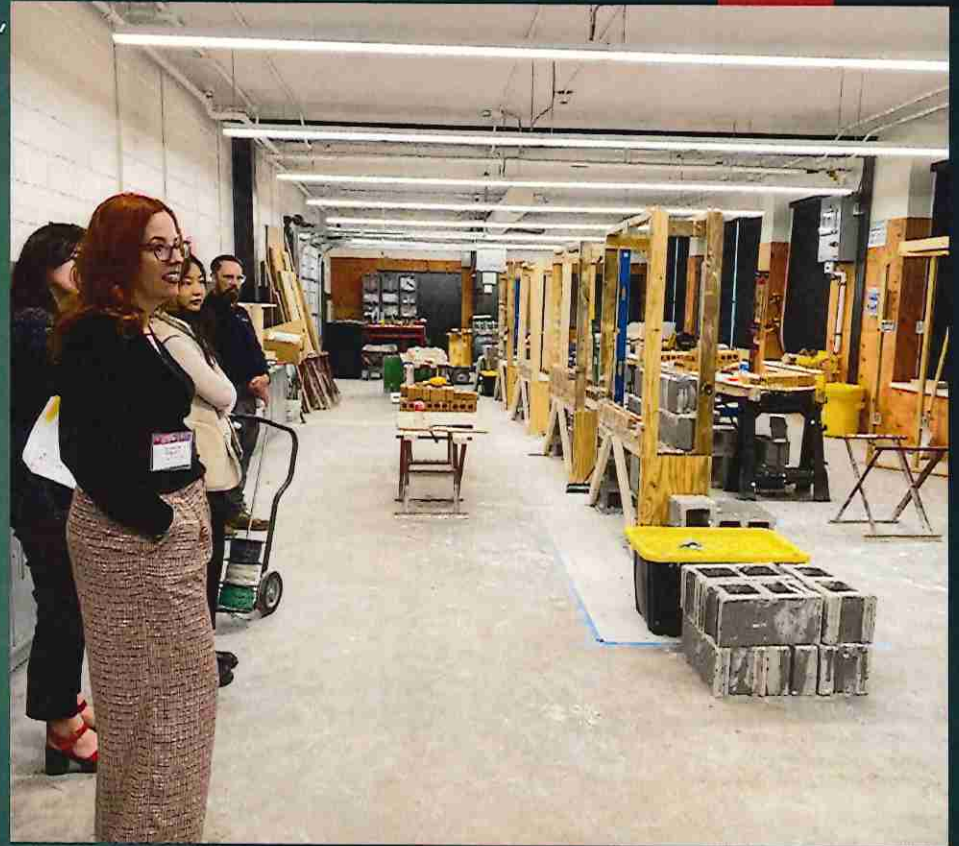
Phase 1: Establish a cohort of eligible and willing participants. We currently have 11 youth that are attending the career center.

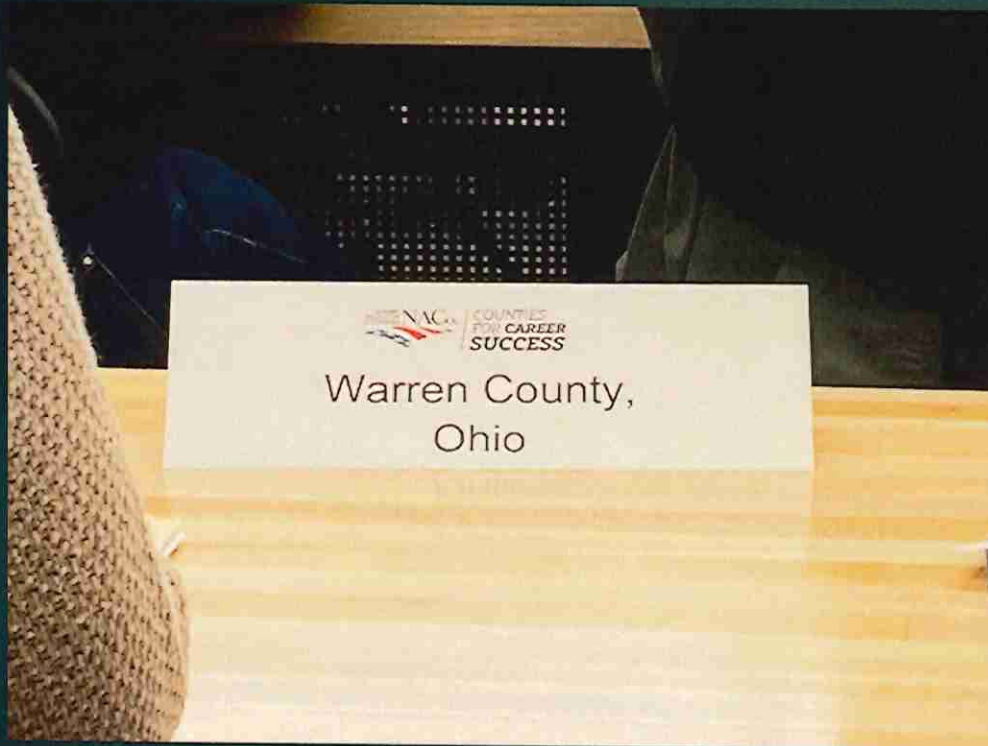
- TANF eligible: 200% FPL
- Minor or minor in the household
- Willing and able to meet with case managers monthly



Phase 2: Establish OMJ office hours at the WCCC, along with a mobile resource room that students can use to develop resumes, job search, and prepare for interviews.

- Take travel (to OMJ) out of the equation
- Build relationships between youth, instructors, and OMJ staff
- All hand-offs are warm





Phase 3: Establish employers (starting with manufacturing) who are interested in helping us cultivate a workforce and participate in our work experience program, as a worksite.

- Try before you buy
- We pay the salary and carry the workers comp through the WCESC
- Participants will learn how to work, under the watchful eye of a case manager
- Companies can train with no expense and focus on teaching company culture
- We ask for leniency, many of these kids do not have an example of work ethic at home.

Phase 4: As work continues and data rolls in, we can replicate these efforts throughout the county. We are not here to tell educators or employers how to do what they do, we are simply here to support their workforce development efforts in every way possible.



Participants

11 Eligible Participants:

- 1 Work Experience
- 10 Graduating this year
- 1 Junior

All 11 students will be tracked and assisted throughout

Office hours at the WCCC, in the OMJ mobile resource room will help to zero in on the right fit.

No participants are pregnant or parenting currently, but we are prepared for that.

Outcomes

Our efforts are ongoing, and our plan with NaCO allows for a 4-year period to succeed, gather data, find correlations, and replicate. We continue to meet with them, and they serve as great organizers of all our thoughts, plans, actions, hits, and misses. In the meantime, we submitted for an award in the hopes that it would shine light on our efforts and get the attention of participants and employers alike, and we won one.



NaCO National Conference

Because of our efforts here in Warren County, and the immediate response by our leaders to our call for collaboration, we were asked to speak at the national conference in Tampa, FL.

The topic: "Getting Out of our Silos".



Thank You!

- Without the support of the BOCC, we would not be able to do what we do. In this case, we do not need any additional funding, we are using what we already have.
- If we can help a kid identify their passion, we can help them cultivate that passion and turn it into purpose.
- The pursuit of happiness is guaranteed to all of us, we are just teaming up to make sure that everyone has the same access to that pursuit. Money follows passion.





BOARD OF COUNTY COMMISSIONERS

WARREN COUNTY, OHIO

406 Justice Drive, Lebanon, Ohio 45036

www.co.warren.oh.us

commissioners@co.warren.oh.us

Telephone (513) 695-1250

Facsimile (513) 695-2054

TOM GROSSMANN

SHANNON JONES

DAVID G. YOUNG

BOARD OF COUNTY COMMISSIONERS

WARREN COUNTY, OHIO

MINUTES: Regular Session – August 13, 2024

This is a summary of actions and discussions of the meeting. You may view this meeting through our YouTube Channel at <https://www.youtube.com/channel/UC1ELh0jGpXd4VV2DTgsuqPA> or by contacting our office.

The Board met in regular session pursuant to adjournment of the August 6, 2024, Work Session meeting.

David G. Young – present

Shannon Jones – present

Tom Grossmann – present

Krystal Powell, Clerk – present

Minutes of the July 30, 2024 meeting were read and approved.

- 24-1035 A resolution was adopted hiring Anthony Smith as Service Worker I within Warren County Facilities Management. Vote: Unanimous
- 24-1036 A resolution was adopted approving the end of 365-day probationary period and a pay increase for Alec Smith within the Warren County Department of Job and Family Services, Human Services Division. Vote: Unanimous
- 24-1037 A resolution was adopted accepting the resignation of Renee Taylor, Assessment/Investigative Caseworker III, within the Warren County Department of Job and Family Services, Children Services Division, effective August 5, 2024. Vote: Unanimous
- 24-1038 A resolution was adopted terminating the employment of probationary employee Victoria Caldwell, within the Office of Management and Budget. Vote: Unanimous
- 24-1039 A resolution was adopted rescinding Resolution #24-0976, adopted July 30, 2024, entering into agreement with Sunrise Cooperative Inc. for a 2,000-gallon double wall tank for diesel fuel and a 1,000 gallon double wall tank for unleaded gasoline and to provide corresponding fuel on behalf of the Warren County Engineer's Office. Vote: Unanimous

- 24-1040 A resolution was adopted advertising for bids for the Dry Run Road Bridge #81-1.22 Replacement Project. Vote: Unanimous
- 24-1041 A resolution was adopted advertising for bids for the 2024 Hamilton Road Drilled Pier Wall Project. Vote: Unanimous
- 24-1042 A resolution was adopted entering into a contract with Barrett Paving Materials Inc., for the FY24 City of Franklin: Bryant Ave. & Judy Dr. Paving and Storm Sewer CDBG Project. Vote: Unanimous
- 24-1043 A resolution was adopted entering into a cooperative agreement with Butler County and the City of Monroe for the Butler Warren Road Bridge #2-9.47 Replacement Project on behalf of the Warren County Engineer's Office. Vote: Unanimous
- 24-1044 A resolution was adopted authorizing the President of the Board to enter into an agreement with the City of Franklin relative to the FY24 City of Franklin – Bryant Ave & Judy Drive Paving and Storm Sewer Community Development Block Grant Project. Vote: Unanimous
- 24-1045 A resolution was adopted entering into a classroom training agreement on behalf of OhioMeansJobs Warren County. Vote: Unanimous
- 24-1046 A resolution was adopted entering into a youth worksite agreement on behalf of OhioMeansJobs Warren County. Vote: Unanimous
- 24-1047 A resolution was adopted authorizing the Warren County Sanitary Engineer to apply for, and enter into a Water Supply Revolving Loan Account (WSRLA) agreement for the design and construction of the Richard Renneker Water Treatment Plant Ion Exchange Upgrades; and designating a dedicated repayment source for the loan. Vote: Unanimous
- 24-1048 A resolution was adopted authorizing County Administrator to sign a supplier release letter and letter of authorization for release of consumers' electric utility account data with Titan Energy on behalf of the Water and Sewer Department. Vote: Unanimous
- 24-1049 A resolution was adopted authorizing amendment No. 1 to the Master Service Agreement with Bayer Becker, Inc. for the Sand Harbor Watermain Replacement Project. Vote: Unanimous
- 24-1050 A resolution was adopted acknowledging payment of bills. Vote: Unanimous
- 24-1051 A resolution was adopted approving various record plats. Vote: Unanimous
- 24-1052 A resolution was adopted approving operational transfers of interest earnings from Commissioners fund #1101112 into Water funds #5510 & #5583, and Sewer funds #5580 & 5575. Vote: Unanimous

- 24-1053 A resolution was adopted approving a supplemental appropriation into Probate/Juvenile Special Project fund #2223. Vote: Unanimous
- 24-1054 A resolution was adopted approve supplemental appropriations into Common Pleas Community Corrections fund #2227. Vote: Unanimous
- 24-1055 A resolution was adopted approving supplemental appropriation into Lodging Tax 1% fund #2231. Vote: Unanimous
- 24-1056 A resolution was adopted approving supplemental appropriations into Common Pleas Court Community Based Corrections #2289. Vote: Unanimous
- 24-1057 A resolution was adopted approving supplemental appropriations into Sheriff's Office fund #2295. Vote: Unanimous
- 24-1058 A resolution was adopted supplemental appropriations into Sheriff's Office fund #6630. Vote: Unanimous
- 24-1059 A resolution was adopted approving an appropriation adjustment within Children Services fund #2273. Vote: Unanimous
- 24-1060 A resolution was adopted approving an appropriation adjustment within Common Pleas Court fund #11011223. Vote: Unanimous
- 24-1061 A resolution was adopted approving an appropriation adjustment within Garage fund #11011620. Vote: Unanimous
- 24-1062 A resolution was adopted approving an appropriation adjustment within Sheriff's Office fund #11012200. Vote: Unanimous
- 24-1063 A resolution was adopted approving an appropriation adjustment within Telecommunications Department fund #11012810. Vote: Unanimous
- 24-1064 A resolution was adopted approving appropriation adjustments within Solid Waste fund #2256. Vote: Unanimous
- 24-1065 A resolution was adopted approving an appropriation adjustment within Grants Administration fund #2265. Vote: Unanimous
- 24-1066 A resolution was adopted approving an appropriation adjustment within the Clerk of Courts Computerization fund #2282. Vote: Unanimous
- 24-1067 A resolution was adopted approving an appropriation adjustment within Health Insurance fund #6632. Vote: Unanimous
- 24-1068 A resolution was adopted approving requisitions and authorizing the County Administrator to sign documents relative thereto. Vote: Unanimous

- 24-1069 A resolution was adopted authorizing the President of the Board to enter into a settlement agreement with the Division of the State Fire Marshal, Bureau of Underground Storage Tank Regulations (BUSTR) for the removal of a buried diesel fuel tank at the Richard Renneker Water Treatment Plant.
Vote: Unanimous
- 24-1070 A resolution was adopted authorizing the issuance and sale of not to exceed \$25,000,000 County of Warren, Ohio Hospital Facilities Refunding Revenue Bonds, Series 2024A (Community First Solutions Obligated Group); authorizing the execution and delivery of an agreement of lease, a sublease, a bond indenture, an assignment of rights, a bond purchase agreement, a tax exemption agreement and an official statement in connection with the issuance of such Series 2024A Bonds; and authorizing other documents and actions in connection with the issuance of such series 2024A Bonds. Vote: Unanimous

DISCUSSIONS

On motion, upon unanimous call of the roll, the Board accepted and approved the consent agenda.

PUBLIC HEARING

TEFRA HEARING TO CONSIDER REFINANCING OF HOSPITAL FACILITY IMPROVEMENT REVENUE BONDS FOR COLONIAL SENIOR SERVICES FOR A SENIOR LIVING FACILITY IN THE CITY OF MASON, WARREN COUNTY, OHIO

The Board met this 13th day of August 2024, for the TEFRA hearing to consider the refinancing of hospital facility improvement revenue bonds for Colonial Senior Services for a senior living facility in Mason, Ohio.

Joshua Grossman, Dinsmore & Shohl, stated that the issuance is simply to refinance up to 25 million dollars in revenue bonds to a fixed interest rate for . He further stated that no new money is requested for the project, it is just to refinance the existing funds for the senior living facility.

Commissioner Young stated that the issuance of these bonds by Warren County does not legally or financially obligate Warren County, that it is simply an administrative task per the Ohio law.

Upon further discussion, the Board resolved (Resolution #24-1069) to authorize the issuance and sale of not to exceed \$25,000,000 County of Warren, Ohio Hospital Facilities Refunding Revenue Bonds, Series 2024A (Community First Solutions Obligated Group); authorizing the

execution and delivery of an agreement of lease, a sublease, a bond indenture, an assignment of rights, a bond purchase agreement, a tax exemption agreement and an official statement in connection with the issuance of such Series 2024A bonds; and authorizing other documents and actions in connection with the issuance of such Series 2024A bonds.

Upon motion the meeting was adjourned.

David G. Young, President

Tom Grossmann

Shannon Jones

I hereby certify that the foregoing is a true and correct copy of the minutes of the meeting of the Board of County Commissioners held on August 13, 2024, in compliance with Section 121.22 O.R.C.

Krystal Powell, Clerk
Board of County Commissioners
Warren County, Ohio



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

This form is to be completed by Department Head/Elected Official requesting authorization to attend an Association Meeting or Convention or Training Seminar/Session sponsored by an Association as required by O.R.C. Section 325.20. Additionally, authorization is required for any training seminar/session held more than 250 miles from county campus;

*NAME OF ATTENDEE: Dr. Russell Uptegrove DEPARTMENT: Coroner's Office

*POSITION: Coroner DATE: 8/12/24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:
required continuing education to maintain medical license

LOCATION:
Portland, Maine

DATE(S):

TYPE OF TRAVEL: (Check one)
AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: \$650

ESTIMATED COST OF TRIP: \$820 conf.+\$200 food+\$90 parking+\$545 air = \$2305

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:
Russell Uptegrove 8-14-24
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
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*NAME OF ATTENDEE: Taylor Mabry DEPARTMENT: Juvenile Court

*POSITION: Probation Officer DATE: 8/13/24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

- ASSOCIATION MEETING
 CONVENTION
 ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
 TRAINING MORE THAN 250 MILES

PURPOSE:

Court Investigator Training-necessary to perform probate investigations.

LOCATION:

Dublin Embassy Suites 5100 Upper Metro Place Dublin, Ohio 43017

DATE(S): 9.30.2024

TYPE OF TRAVEL: (Check one)

- AIRLINE
 STAFF CAR
 PRIVATE VEHICLE
 OTHER

LODGING: Dublin Embassy Suites

ESTIMATED COST OF TRIP: Registration \$125 plus \$129 (hotel)= \$254 a person

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

[Signature] 8/13/24
Signature/Title Court Administrator Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Sherri Lewis & Jamie Carr

11-30113-201
1-1000 (10-0-03004)



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*NAME OF ATTENDEE: Shawna Jones DEPARTMENT: Children Services

*POSITION: Director DATE: 8/8/24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE: PCSAO Conference

LOCATION: _____

DATE(S): 9/9/24-9/11/24

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: _____

ESTIMATED COST OF TRIP: Total=\$1,710.40; Hotel \$185/night x 2 ea. \$1,480; Meals \$230.40

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Shawna Jones, Director 8-9-24
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Tara Koger, Britne Wilmer, Olivia Elter

FILED 24 RCMV

FILED 24 RCMV



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

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*NAME OF ATTENDEE: Josh Hisle DEPARTMENT: OMJ

*POSITION: Deputy Director DATE: 10/7/24 - 10/8/24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:

CFIS Conference

LOCATION:

100 Green Meadows Drive South
Lewis Center, OH 43035

DATE(S): 10/7/24 - 10/8/24

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: Nationwide Hotel & Conference Center

ESTIMATED COST OF TRIP: \$2500.00

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

[Signature] 8.9.24
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Jena Short, Supervisor - Deric Lucas, Customer Advocate II - Sarah Roberts, Customer Advocate I - Matt Schnipke, Director - Candace Miller, Deputy Director, ALYSON WOOD.

RECEIVED

2025 AUG 16 PM 1:33



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

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*NAME OF ATTENDEE: Josh Hisle DEPARTMENT: OMJ

*POSITION: Dep Director DATE: 8/12/24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:

DC Fly-In

LOCATION:

Washington DC

DATE(S): 9/9-9/11

TYPE OF TRAVEL: (Check one)

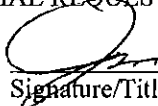
AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: Hotel

ESTIMATED COST OF TRIP: \$1,000.00

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

 Signature/Title Date 8.12.24

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

Empty box for listing additional attendees.

RECEIVED

2025 AUG 15 PM 1:39

2025 AUG 15 10:30 AM



**REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING,
CONVENTION OR TRAINING SEMINAR/SESSION**

This form is to be completed by Department Head/Elected Official requesting authorization to attend an Association Meeting or Convention or Training Seminar/Session sponsored by an Association as required by O.R.C. Section 325.20. Additionally, authorization is required for any training seminar/session held more than 250 miles from county campus;

*NAME OF ATTENDEE: Melissa Bour DEPARTMENT: Emergency Services

*POSITION: Director DATE: 8/13/24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION
TRAINING MORE THAN 250 MILES

PURPOSE:

ILO-OP3 Fall Conference
a comprehensive examination of current trends and emerging topics.

LOCATION:

Quest Conference Center, 9200 Worthington Road Ste 400, Westerville, OH 43082

DATE(S):

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: N/A

ESTIMATED COST OF TRIP: No cost

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

Melissa Bour, Director 8/13/24
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

RECEIVED
AUG 13 PM 2:22



REQUEST FOR AUTHORIZATION TO ATTEND ASSOCIATION MEETING, CONVENTION OR TRAINING SEMINAR/SESSION

This form is to be completed by Department Head/Elected Official requesting authorization to attend an Association Meeting or Convention or Training Seminar/Session sponsored by an Association as required by O.R.C. Section 325.20. Additionally, authorization is required for any training seminar/session held more than 250 miles from county campus;

*NAME OF ATTENDEE: RANDALL KUVIN DEPARTMENT: TREASURER

*POSITION: CLERK DATE: 8-15-24

REQUEST FOR AUTHORIZATION FOR THE ABOVE-NAMED EMPLOYEE/ELECTED OFFICIAL TO ATTEND THE FOLLOWING:

ASSOCIATION MEETING CONVENTION ASSOCIATION SPONSORED TRAINING SEMINAR/SESSION

TRAINING MORE THAN 250 MILES

PURPOSE:

2024 Ohio Rural Land Bank Summit

LOCATION:

Woodward Opera House 107 S. Main St.
Mt. Vernon, OH 43050

DATE(S): 10/3/24

TYPE OF TRAVEL: (Check one)

AIRLINE STAFF CAR PRIVATE VEHICLE OTHER

LODGING: N/A

ESTIMATED COST OF TRIP: 250.00 - Seminar Registration

I CERTIFY THAT DIRECTION HAS BEEN GIVEN TO ALL EMPLOYEES ATTENDING THIS FUNCTION, THAT IT IS EXPECTED OF THEM TO ATTEND APPLICABLE SESSIONS.

DEPARTMENT HEAD/ELECTED OFFICIAL REQUESTING AUTHORIZATION:

[Signature], Treasurer 8/15/24
Signature/Title Date

BOARD OF COMMISSIONERS' APPROVAL:

Commissioner Date

Commissioner Date

Commissioner Date

*If additional employees will be attending the Association Meeting, Convention or Training Seminar/Session please list names and positions here:

[Empty box for additional names and positions]

01:56 AM 8/15/24

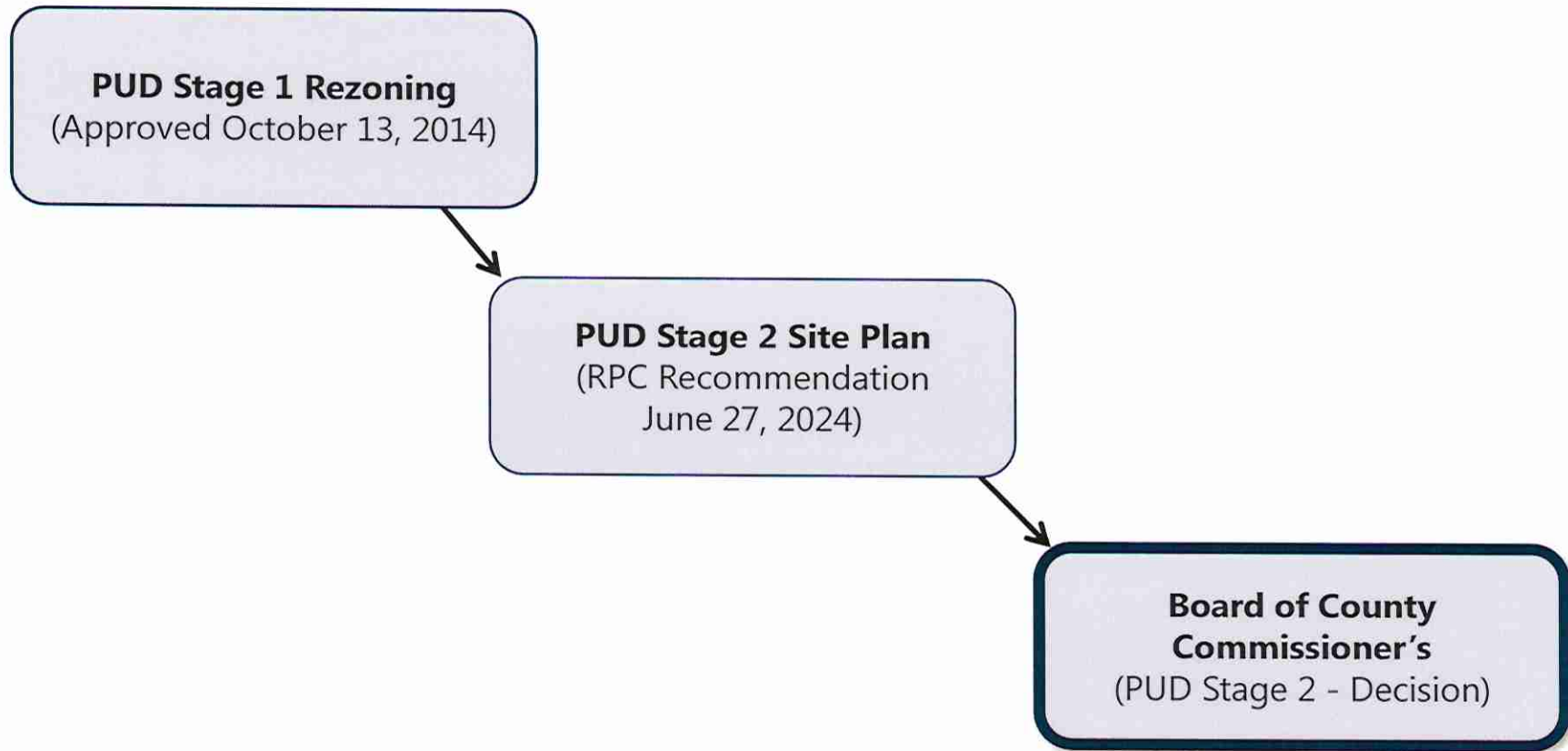


Union Village Special District #3A PUD Stage 2 Turtlecreek Township

Prepared for the Board of County Commissioners

Date: August 20, 2024

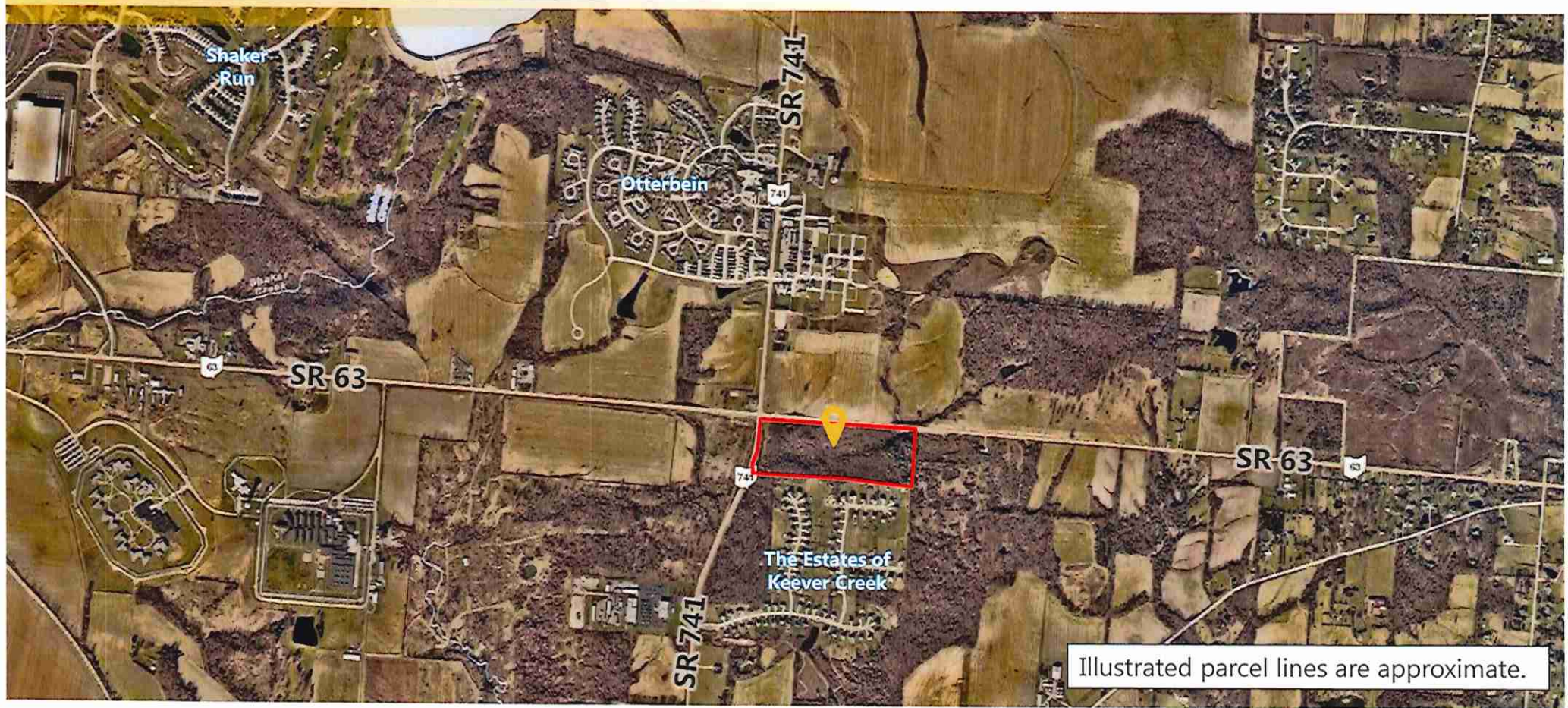
SUBDIVISION REVIEW PROCESS



GENERAL INFORMATION

Applicant	Jeffrey R. Anderson
Property Owner	Otterbein Homes, Inc.
Site Address	0 State Routes 741 & 63
Parcel Size	32.535 acres of a 52.1626-acre parcel
Proposed Lot Area	2.043 acres
Current Zoning	PUD (Planned Unit Development) – Special District 3

Vicinity Map

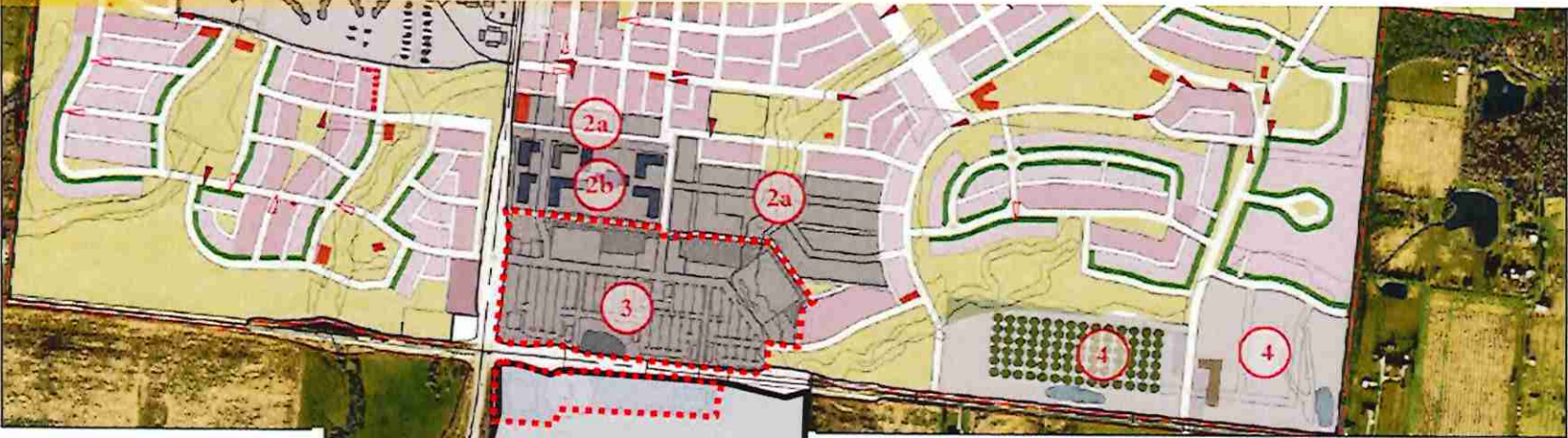


Illustrated parcel lines are approximate.



Site Aerial



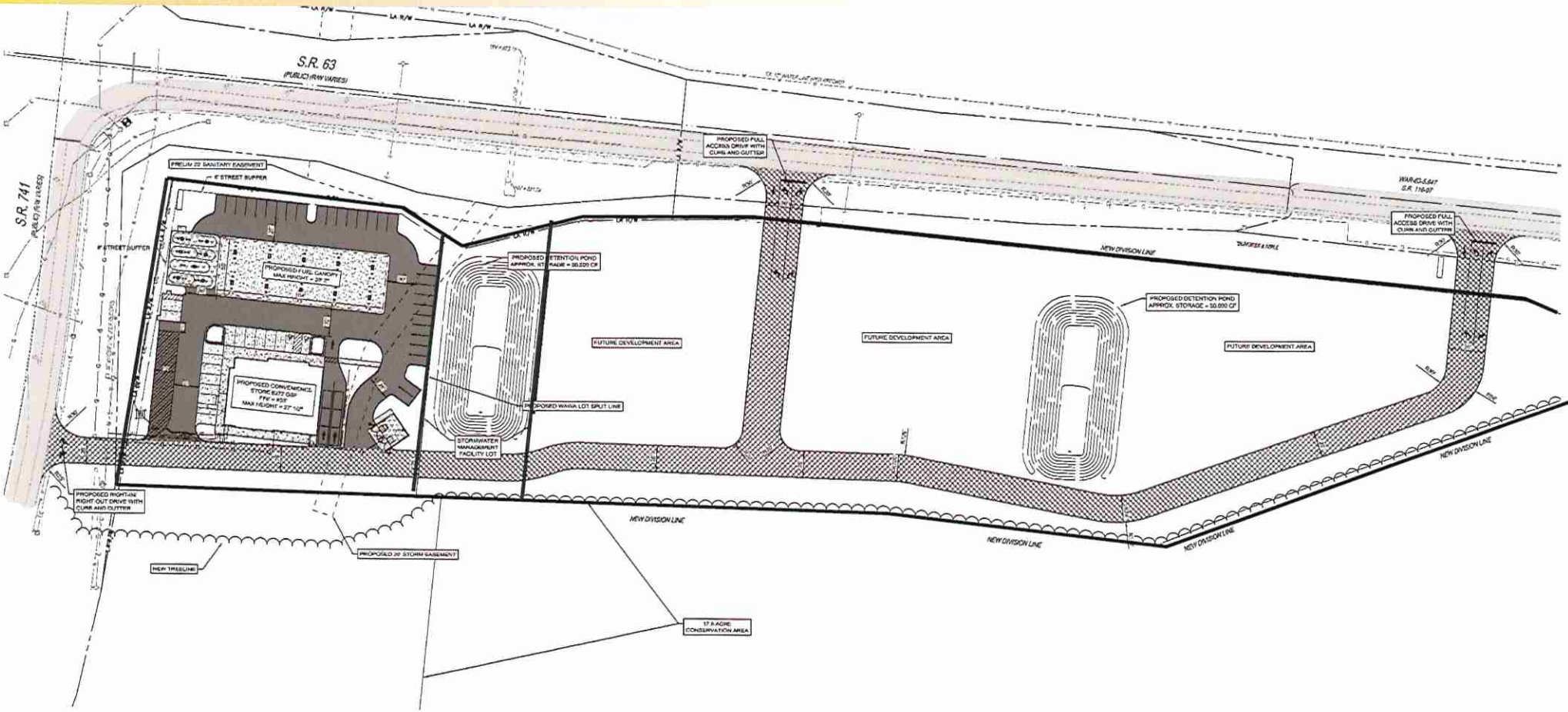
Union Village Regulating Plan



The subject site is located within a portion of the **Special District 3 (SD3)** and **Civic Open Space** in the Union Village PUD (south of State Route 63).

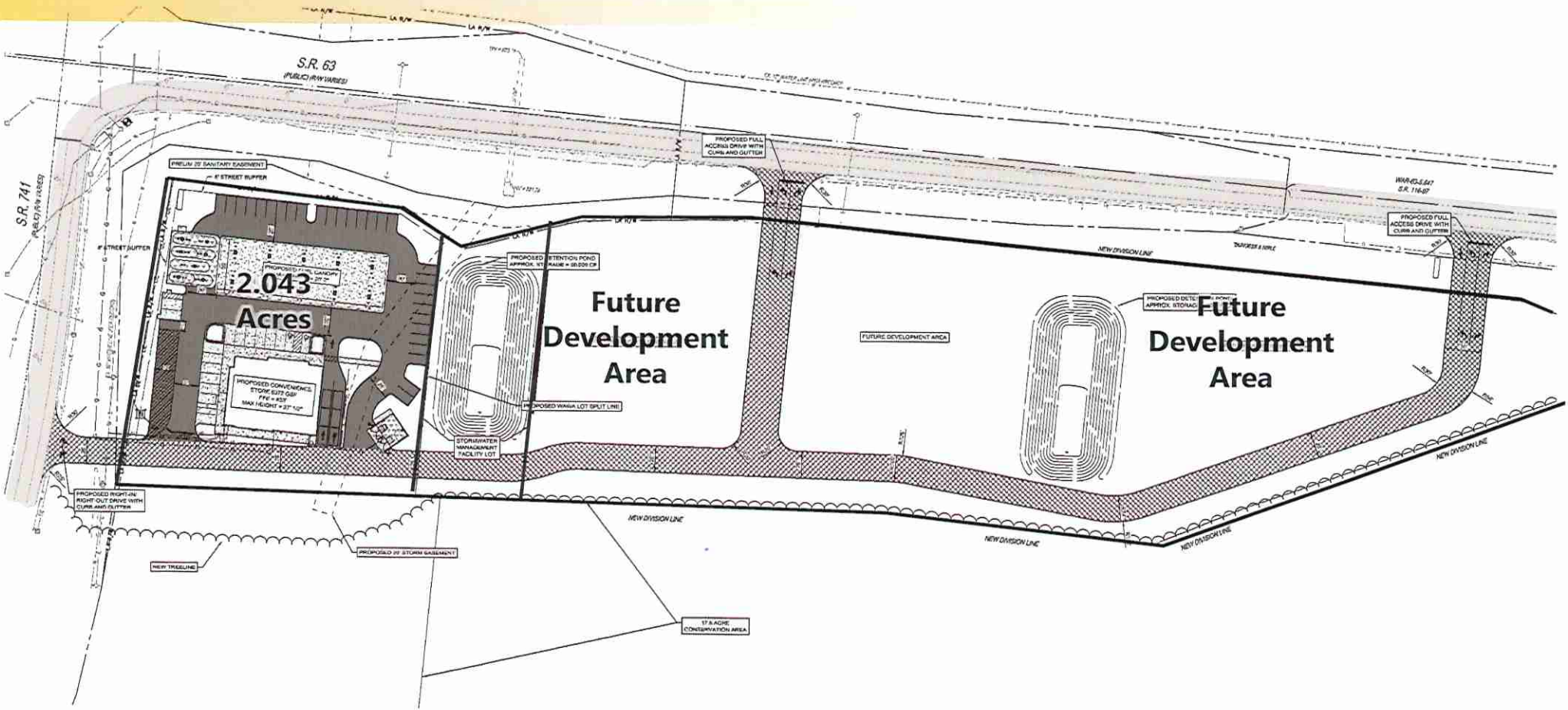
-  Special District 3 Boundary
-  Special District 3A (Subject Site)

Proposal



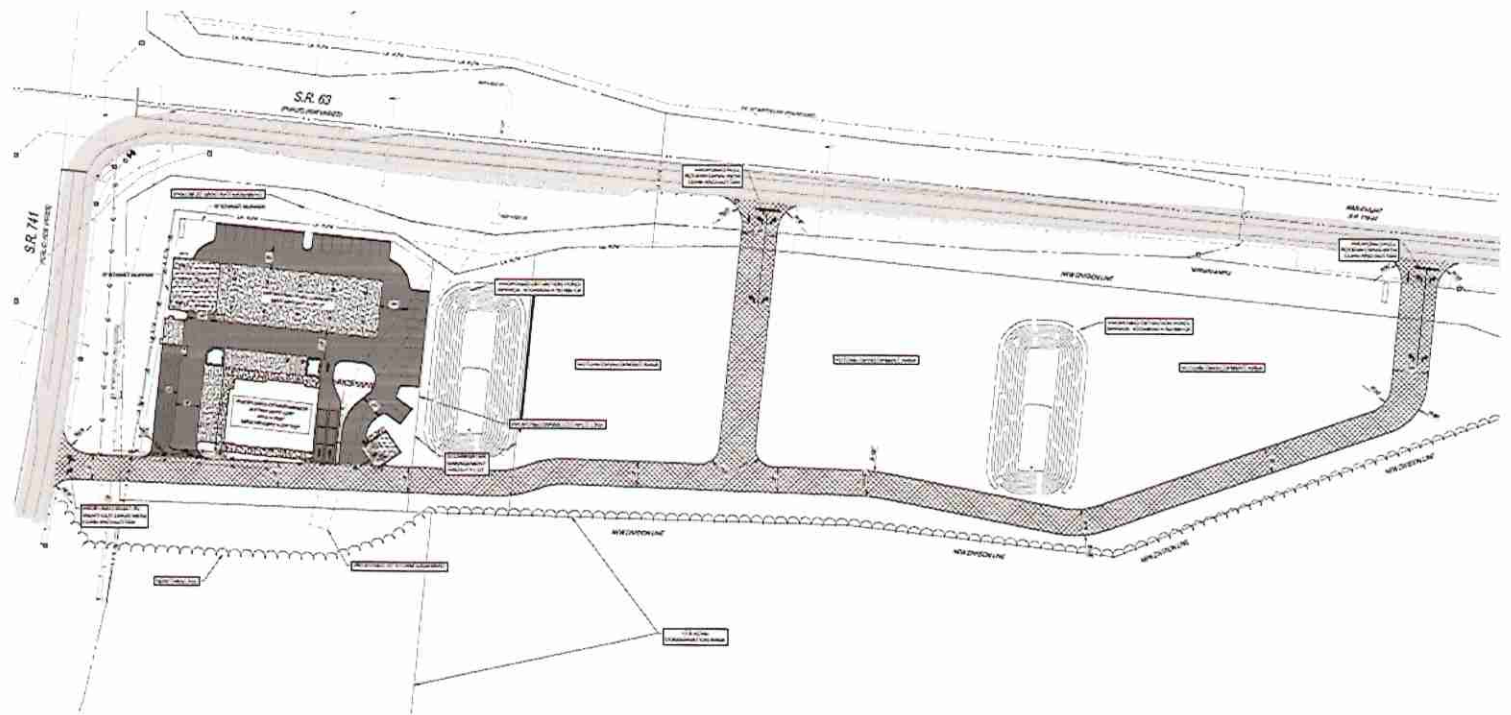
Proposal

The "Future Development Areas" will require Site Plan Review (by the BOCC) as these lots develop.



Proposal

1. 6,372 S.F.
Convenience Store
2. 10 Pump Gas
Station
3. Three access points
 - A. Two on S.R. 63
 - B. One on S.R. 741



Proposal

1. 6,372 S.F.
Convenience Store

2. 10 Pump Gas
Station

3. Three access points

A. Two on S.R. 63

B. One on S.R. 741



Proposal

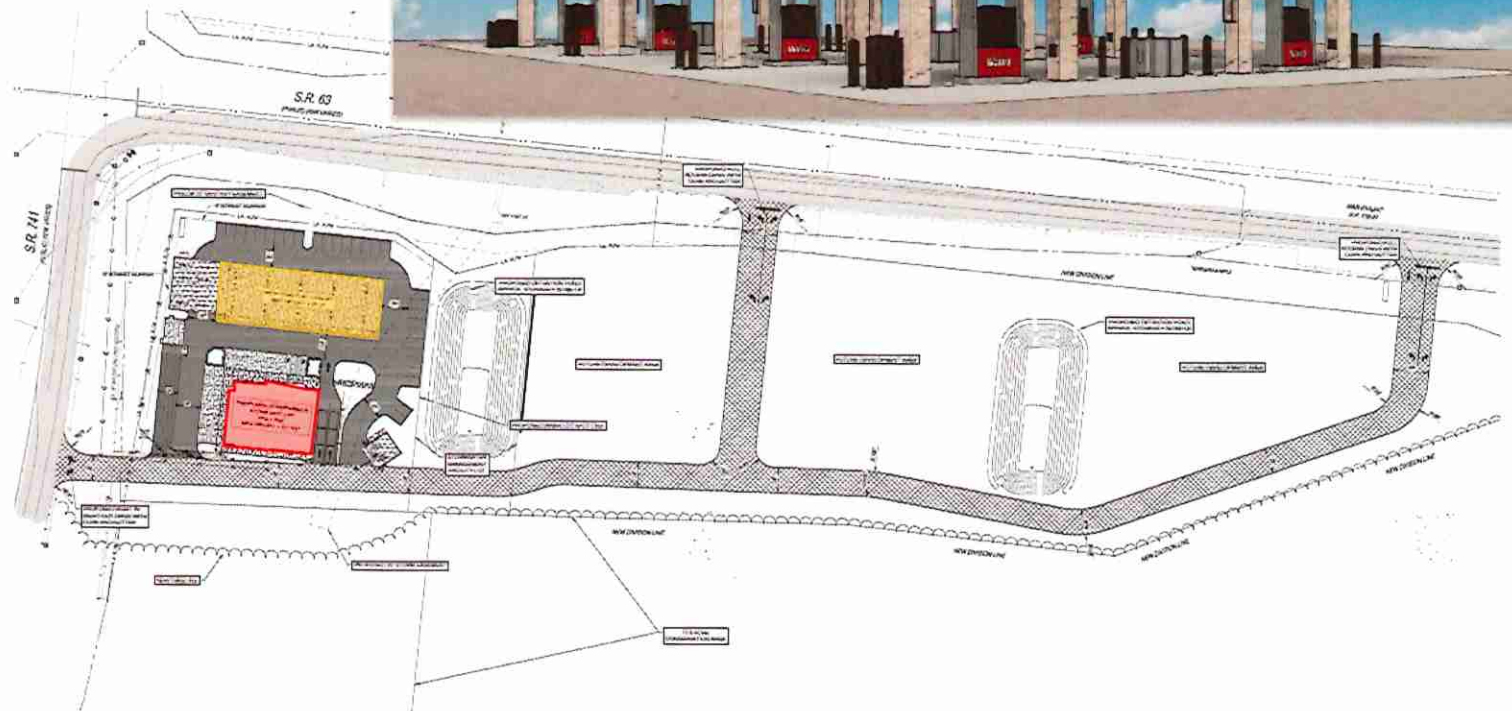
1. 6,372 S.F.
Convenience Store

2. 10 Pump Gas
Station

3. Three access points

A. Two on S.R. 63

B. One on S.R. 741



Proposal

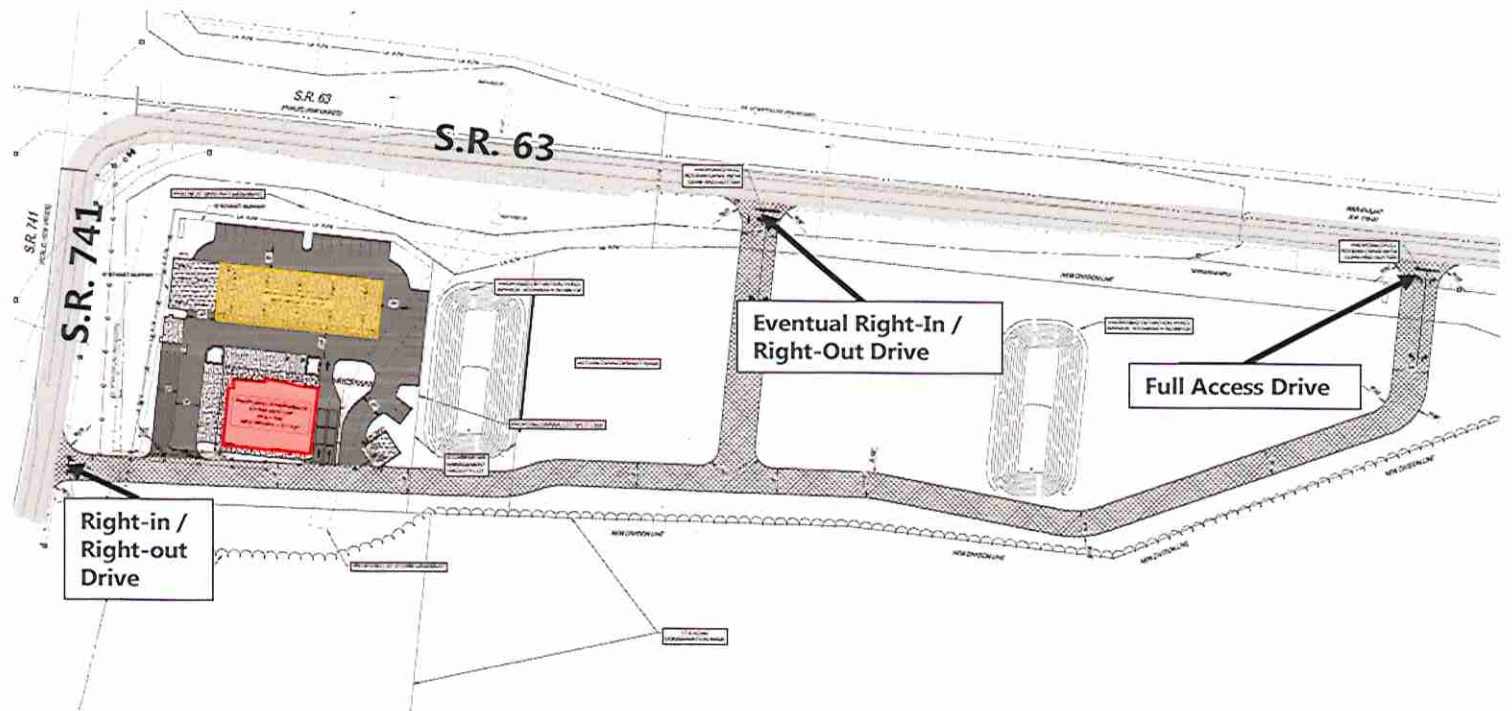
1. 6,372 S.F.
Convenience Store

2. 10 Pump Gas
Station

3. Three access points

A. Two on S.R. 63

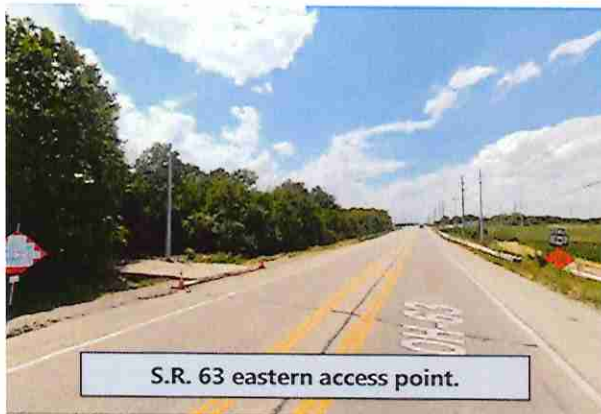
B. One on S.R. 741



Proposal

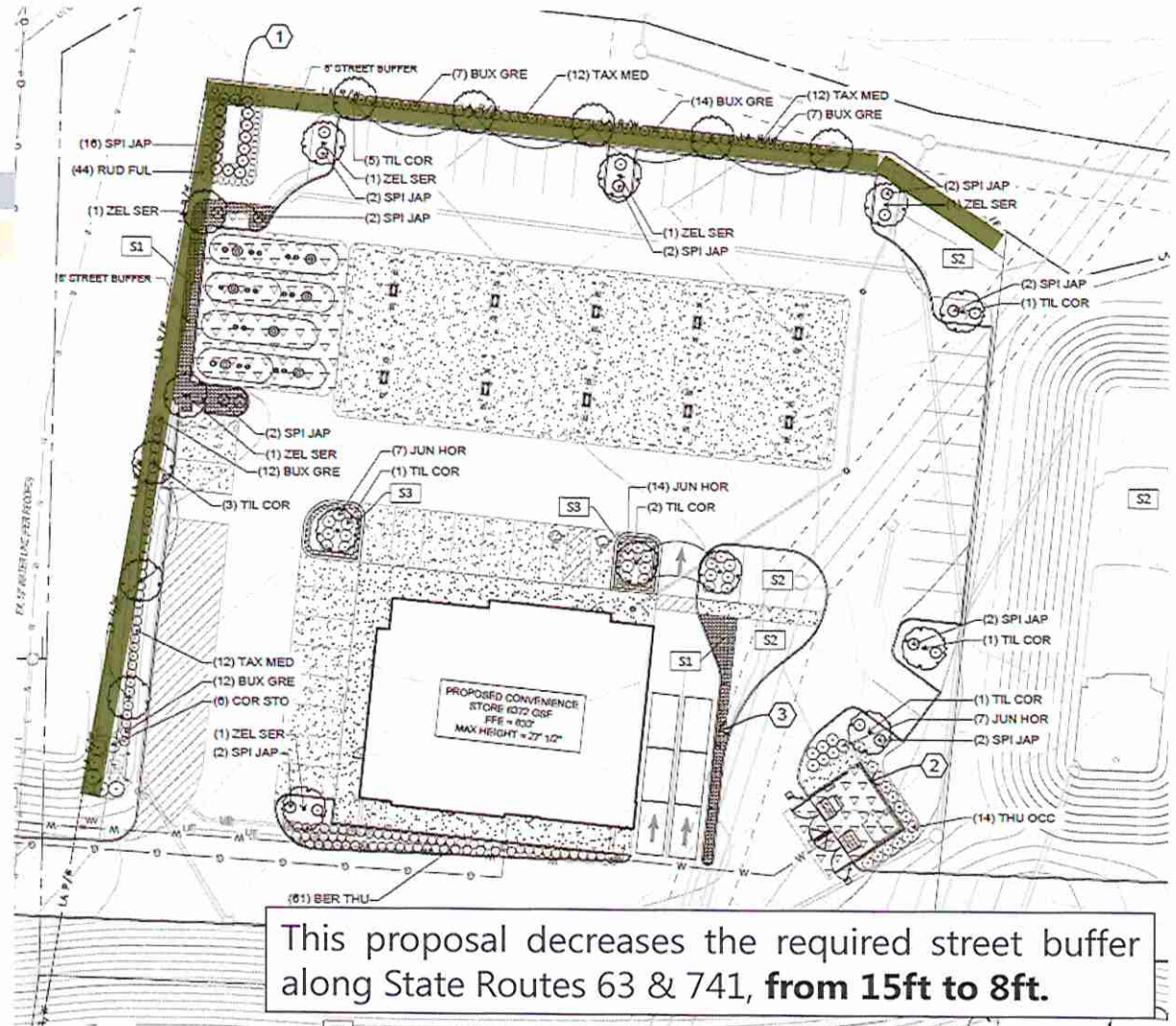
Access points:

- A. Two on S.R. 63
- B. One on S.R. 741



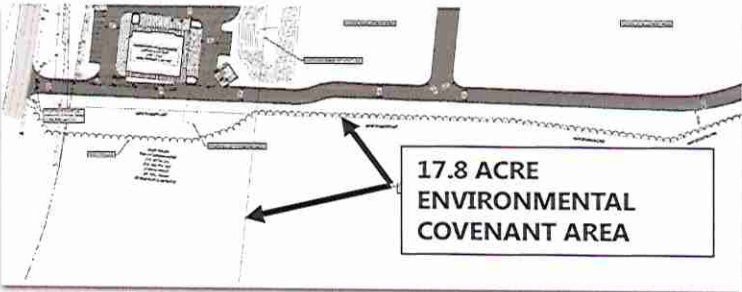
Buffers & Landscaping

- 8-foot street buffer along State Route 63
- 8-foot street buffer along State Route 741
- Dumpster screened through fencing and evergreen



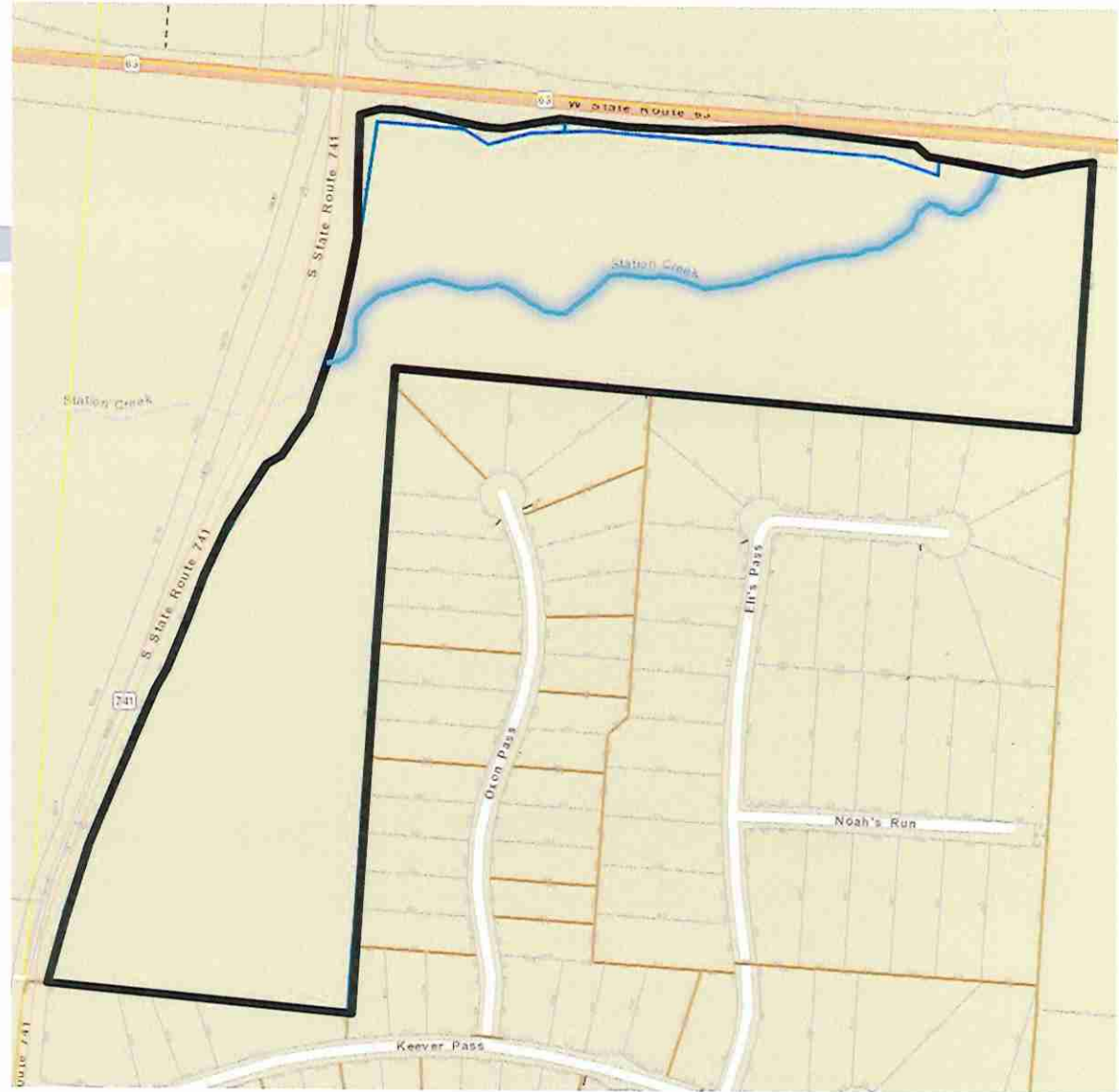
Environmental Features

- Adding additional conservation area over the environmental covenant area.



Environmental Features

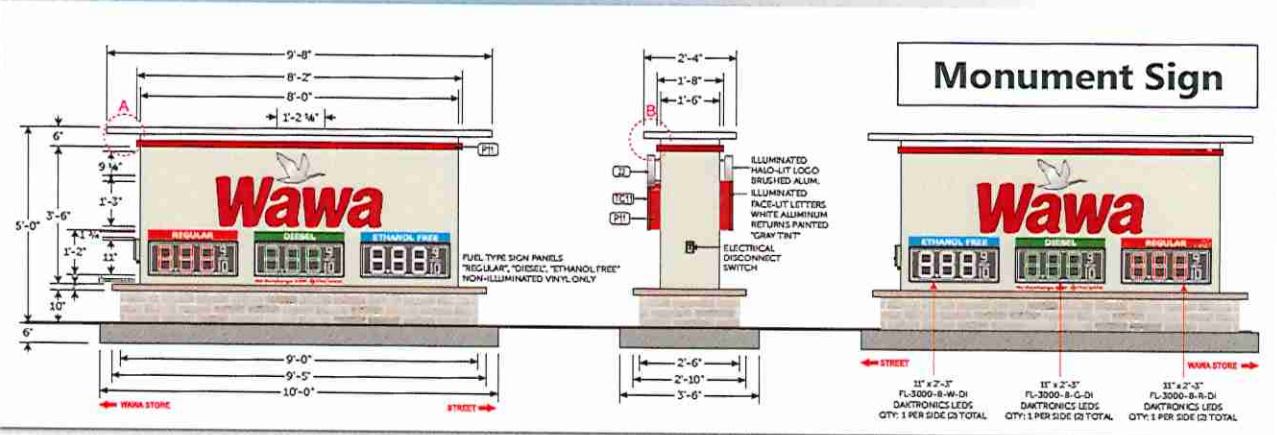
- Stream through the property (Station Creek)



Signage



Wall Signs & Panel



Canopy Sign & Spanner

Staff Recommendation

Staff recommends approval of the **Union Village Special District 3A PUD Stage 2** to the Warren County Board of Commissioners, subject to the following conditions:

1. All plans and proposals from the applicant shall be made conditions of approval unless modified by one of the following conditions.
2. Compliance with the Warren County Rural Zoning Code, the Warren County Subdivision Regulations, PUD Stage 1, and the Union Village PUD Standards.
3. An Erosion and Sediment Control Plan shall be submitted to, and approved by the Warren County Soil & Water Conservation District prior to earth-moving activities.

Staff Recommendation

4. **All proposed common open spaces and improvements, and maintenance of such areas are ensured through an appropriate legal instrument. An infrastructure maintenance program (i.e. “sinking fund”) shall be established for all stormwater facilities.**
5. Compliance with the lighting, landscaping, and signage standards of the Union Village PUD Stage 1 standards.
6. **Fire hydrant locations shall be approved by the Turtlecreek Township Fire Department.**
7. Compliance with the requirements of the Warren County Water & Sewer Department regarding water service. Any upgrades necessary to support the development shall be installed by the developer.
8. Compliance with the requirements of the Butler County Water & Sewer Department regarding sewer service. Any upgrades necessary to support the development shall be installed by the developer.

Staff Recommendation


- 9. The internal driveways and traffic circulation shall be reviewed and approved by the Warren County Engineer's Office. The site's internal driveway improvements shall be installed prior to the zoning permit application.**
- 10. Compliance with the requirements of the Ohio Department of Transportation (ODOT). All proposed access points shall be approved by ODOT and ODOT shall determine whether each access point is full access or limited access and at what point an access shall become limited access. Any improvements deemed necessary by ODOT or the Warren County Engineer's Office shall be installed by the developer. A traffic impact analysis shall be done prior to PUD Stage 3.**
- 11. At Final Plat review, the applicant shall dedicate the required right-of-way along State Route 63 and State Route 741, in accordance with the approved PUD Stage 2 Site Plan.**

Staff Recommendation

12. Submit an updated site plan illustrating:

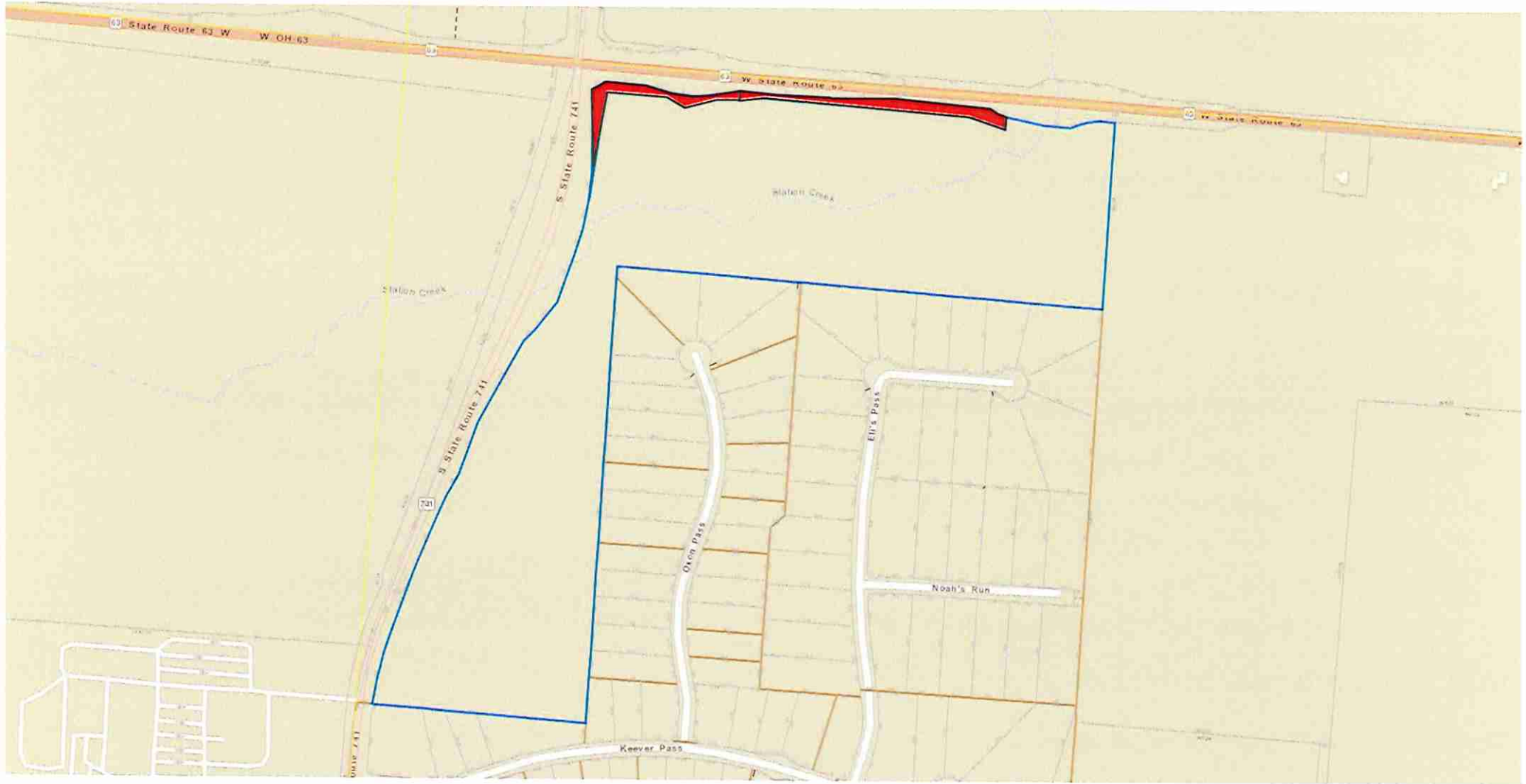
- a. The “Preserve Area for Environmental Covenant” as a conservation area.**
- b. The internal circulation be labeled as private drives, identifying the access drive classification.**
- c. The stormwater management facility located on a separate lot.**
- d. An updated landscaping plan to illustrate the correct symbology for evergreen trees and details of the dumpster fencing.**

13. Building materials of the convenience store and gas canopy shall be similar to the submitted elevations and approved by the Warren County Zoning Inspector.

Two horizontal bars are positioned at the top of the slide. The upper bar is blue with a gradient that fades to light blue on the right. The lower bar is yellow with a gradient that fades to light yellow on the right.

Backup Slides

Property Ownership – Otterbein Home



Warren County Rural Zoning Code

Section 1.303.6 Site Plan Review Criteria

1.303.6 Review Criteria: The site plan review is conducted to determine anticipated impacts on the public health and safety, as well as the public convenience, comfort, prosperity, or general welfare, as applicable. The factors to be considered and weighed by the Approving Authority include but are not limited to the following, but no single factor controls in making a decision, nor must all of the factors support the decision:

- A. Adequacy of Information and Compliance with Zoning Code:** The plan contains the Code required information and is presented in an understandable manner that provides an accurate description of the proposed development, structure(s), site improvements and impacts. The plan complies with all applicable requirements of the Zoning Code pertinent to the proposal.

- B. Design Layout Sufficiency and Sensitivity:** The design components proposed and used are considered sufficient and sensitive to site topography, drainage, parcel configuration, adjacent properties, traffic operations, adjacent streets and driveways, pedestrian access and the type, size and location of buildings.

- C. Design Character, Operational Compatibility, and Coordination:** The appearance and design character of the proposed development and all corresponding operational activities are considered compatible and coordinated with surrounding, existing, and planned developments. The proposed structures must also be identified as a primary or secondary and must be coordinated to function with the internal operations of the site.

Warren County Rural Zoning Code

Section 1.303.6 Site Plan Review Criteria

- D. **Preservation of Significant Features:** The plan preserves: architecturally, historically and/or culturally significant buildings; wetland, floodplain, streams, aquifer recharge areas; soils areas with severe limitations for use; steep slopes; and tree lines, hedgerows, wooded areas, and trees that are determined valuable to retain.

- D. **Pedestrian Access and Circulation:** The plan proposes provision of pedestrian circulation and access. Determination of adequacy is based on such provisions being designed to be safe, comfortable, compatible, connected, conflict-free, and compliant with applicable ADA regulations.

- E. **Vehicular Access and Circulation Streets:** Driveways, parking aisles, and other related elements designed for vehicle access and circulation demands are determined sufficient per evaluation by the Warren County Engineer and Fire/EMS department. These elements are evaluated for safety and function.

- F. **Parking and Loading:** Off-street parking and loading provisions are determined sufficient based upon the proposed number, size, location, and arrangement of parking spaces and provisions for shared-parking and for compliance with Article 3, Chapter 3 Parking, Loading, and Circulation Standards.

Warren County Rural Zoning Code

Section 1.303.6 Site Plan Review Criteria

- H. **Landscaping and Screening:** Evaluated based on the design and effectiveness of landscaping/building material to screen and mitigate negative visual impacts and for compliance with Article 3, Chapter 4 Landscaping and Screening Requirements.
- I. **Exterior Lighting:** Evaluated for compliance with Article 3, Chapter 5 Lighting Requirements and Standards. (J) **Signage:** Evaluated for compliance with Article 3, Chapter 6 Signage Standards and Requirements.
- J. **Public Service Impact:** The impact to public services facilities Exterior Lighting: Evaluated for compliance with Article 3, Chapter 5 Lighting Requirements and Standards.
- K. **Signage:** Evaluated for compliance with Article 3, Chapter 6 Signage Standards and Requirements. **Public Service Impact:** The impact to public services facilities and utilities for water, sanitary sewer, natural gas, electricity, telephone and cable, roadways, police, fire and EMS protection, sidewalks, bikeways, and public schools are evaluated in terms of their capacity to accommodate the proposed development.
- L. **Stormwater Drainage Stormwater Management Plan:** Evaluated based on the quantity and quality of runoff, impact on upstream or downstream property, and a maintenance plan, to the approval of the Warren County Engineer and the Warren County Soil and Water Conservation District.

Warren County Rural Zoning Code

Section 1.303.6 Site Plan Review Criteria

- M. **Soil Erosion and Sediment Control:** The plan provisions for minimizing soil erosion during development and preventing sedimentation during and after development are determined acceptable per evaluation by the Warren County Soil and Water Conservation District.
- N. **Emergency Access and Service Facilities and Public Safety:** The plan provides for emergency access and service facilities (fire lanes, hydrants, and suppression supply connections) within the site as determined necessary per evaluation by the Fire/EMS department of jurisdiction in conjunction with the Warren County Building Department. The proposed development does not pose a threat to public safety.
- O. **Building Design:** Building design is found harmonious in character with the surrounding area with regard to scale, mass, and orientation.
- P. **Compliance with Public Health and Safety:** The application must provide plan of procedures to mitigate nuisances to surrounding areas such as, but not limited to odors, excess noise, and/or unsanitary operations. Any externalities must be within the realm of public health, safety, and wellness.

Warren County Rural Zoning Code

Section 1.305.6 PUD Stage 2 Review Criteria

1.305.6 (B) A PUD Stage 2 Preliminary Site Plan, for the area proposed to be developed, shall be developed in conformance with the approved PUD Stage 1 21 Development Plan and in accordance with the approved PUD Stage 1 standards. In addition to the Site Plan review criteria of Section 1.303.6 (B) through (P), the decision to approve a PUD Preliminary Site Plan shall be based on, but not limited to, the following:

- (1) Compliance with all applicable regulations of the Zoning Code; the PUD Stage 1 zoning, the Warren County Subdivision Regulations; and conformity to the approved Concept Plan;
- (2) Proposed public improvements are found acceptable by the approving authority and are bonded as deemed necessary;
- (3) All proposed private aspects and provisions for vehicular access, parking, loading, and circulation; pedestrian access and circulation; essential services in the form of utilities or other facilities; drainage runoff and soil erosion control; landscaping, lighting, signage, and open space; building or other structure size, type, location, use, operation, maintenance, and site impervious surface coverage; and any other items or considerations applicable to PUD site planning, development, and use are found sufficient per discretion of the BOCC;
- (4) The phasing of each individual section or sub-section of the PUD results in a functionally complete section; and,
- (5) Provisions are made to protect, preserve, and incorporate: any existing architecturally and/or historically and/or culturally significant buildings; wetland, floodplain, streams, aquifer recharge areas; soils areas with severe limitations for use; steep slopes; and tree lines, hedgerows, wooded areas, and trees that are determined valuable to retain.

Turtlecreek Township

Review Department Comments

"The Board of Trustees of Turtlecreek Township, the Fire Chief and the Road Supervisor have reviewed the Union Village Special District 3A PUD Stage 2 plans. The Fire Chief would request there be an additional fire hydrant near the fire department connection location and that the facility maintain an electric vehicle fire suppression blanket at all times."



MR. JAMES VANDEGRIFT
MR. DANIEL JONES
MR. JONATHAN SAMS
MS. AMANDA CHILDERS

TRUSTEE
TRUSTEE
TRUSTEE
FISCAL OFFICER

June 11, 2024

Warren County Regional Planning
Attn: Ryan Cook
406 Justice Drive
Lebanon, Ohio 45036

Re: Union Village Special District 3A PUD Stage 2

Dear Mr. Cook,

The Board of Trustees of Turtlecreek Township, the Fire Chief and the Road Supervisor have reviewed the Union Village Special District 3A PUD Stage 2 plans. The Fire Chief would request that there be an additional fire hydrant near the fire department connection location and that the facility maintain an electric vehicle fire suppression blanket at all times.

The Board of Trustees of Turtlecreek Township would like to thank you for submitting the Union Village Special District 3A PUD Stage 2 plan for review.

Sincerely,

Jonathan D. Sams
Board of Trustees Turtlecreek Township
Chairman

JSD/tb
Cc: file



670 North State Route 323
Lebanon, OH 45036



513.932.4902



info@turtlecreektownship.org



Warren County Zoning

Review Department Comments

“Based on a review of the 63 & 741 – WAWA Stage II Submittal documents, a preliminary Warren County Zoning approval is granted.”

From: Dratt, Ray
Sent: Monday, June 17, 2024 1:50 PM
To: Goschinski, Cameron
Cc: Tegtmeier, Michelle R.; Hill, Brooke M.
Subject: RE: 63 & 741 - Wawa Stage II Submittal

Cameron,

Based on a review of the 63 & 741 – WAWA Stage II Submittal documents, a preliminary Warren County Zoning approval is granted.

Ray

Ohio Department of Transportation

Review Department Comments

“We just approved of their MOU for their TIS for this site. We have not seen the traffic impact study yet to determine what roadway improvements will be needed. **It should be noted for this application once the development of the north side open up, it is anticipated that a signal will be warranted at the east most driveway shown in their plans. At that time, the western driveway will be converted to a RI/RO at the developer’s cost.**”

Ryan,

We just approved of their MOU for their TIS for this site. We have not seen the traffic impact study yet to determine what roadway improvements will be needed. It should be noted for this application that once the developments on the north side open up, it is anticipated that a signal will be warranted at the east most driveway shown in their plans. At that time, the western driveway will be converted to a RI/RO at the developer's cost.

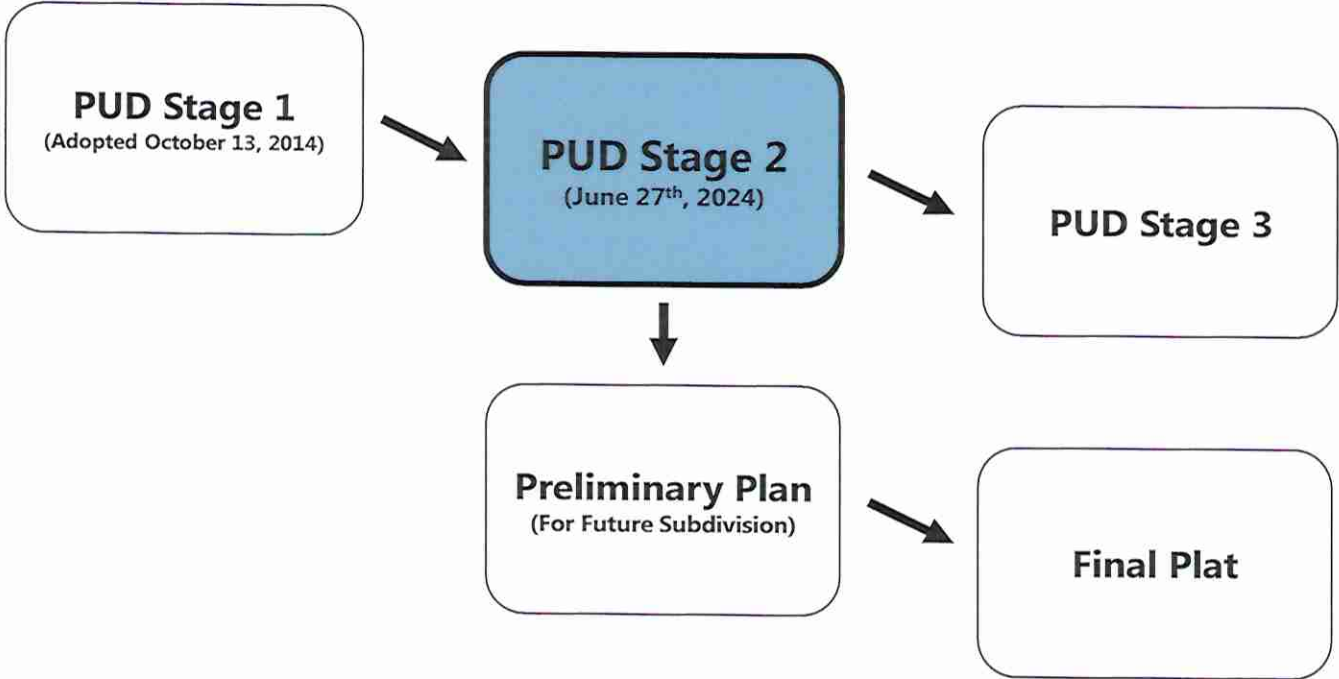
Thanks,

Dustin Williams
Transportation Technician
505 S SR-741
Lebanon, OH 45036
D:513-933-6576 C:513-615-4033
Dustin.williams@dot.ohio.gov

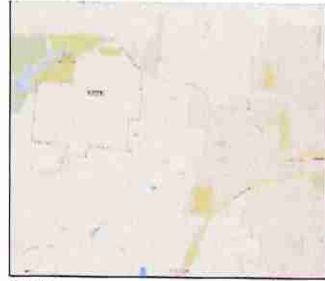


Department of
Transportation

Union Village PUD Process



Union Village Regulating PUD

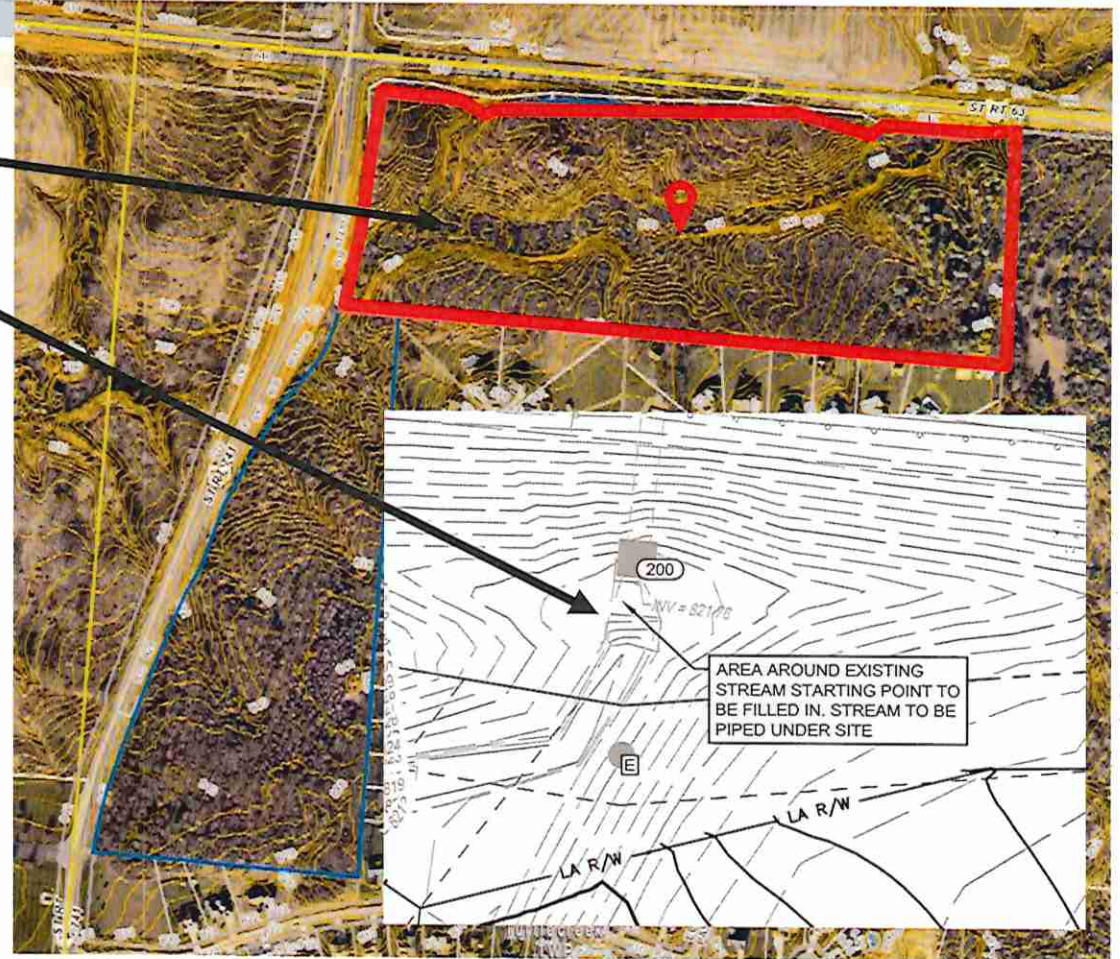


Visitor Map












Environmental Features

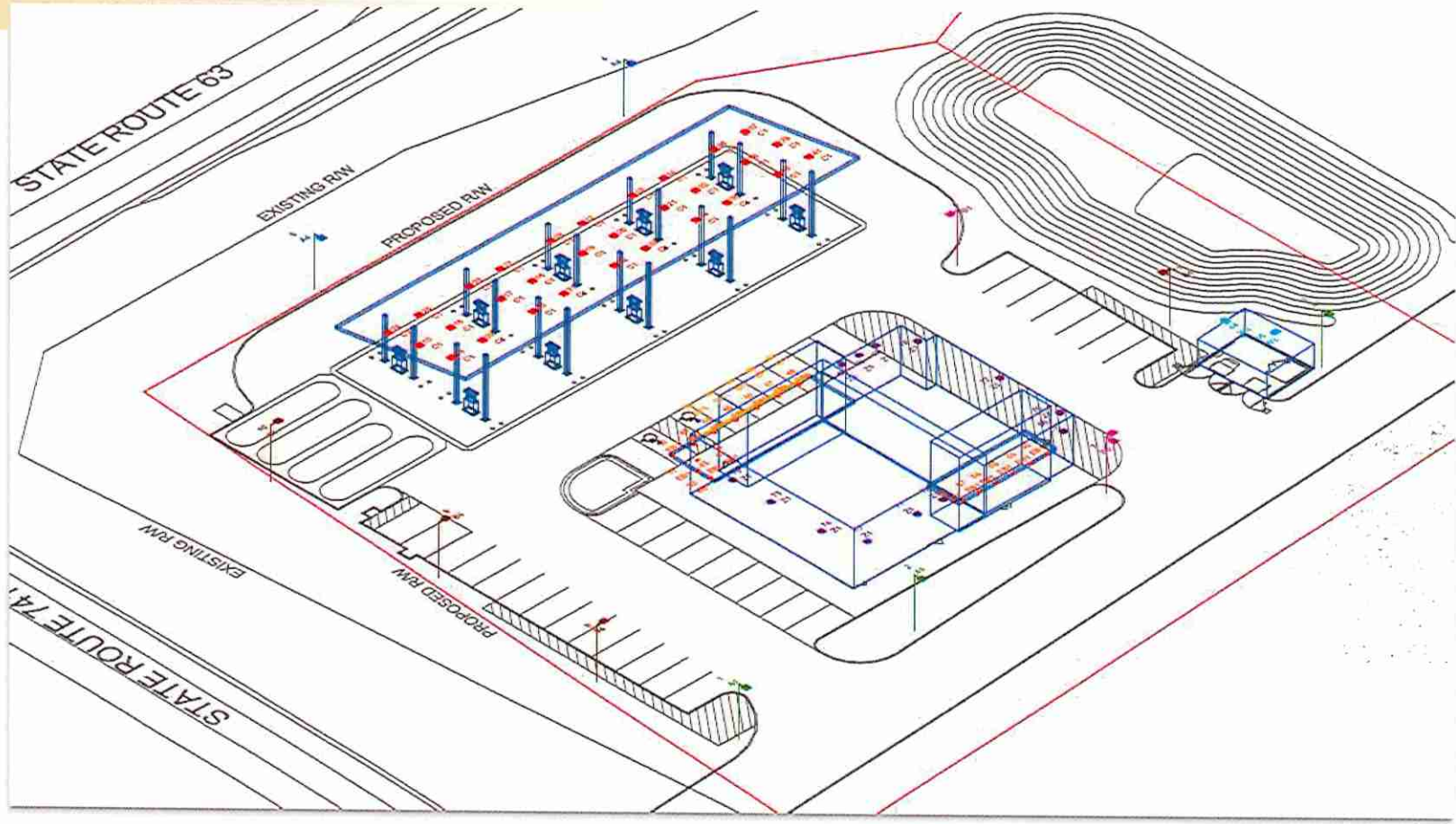
- Steep slopes along southern boundary
- Existing stream to be piped under site.
- Station Creek runs along east-west property lines



Lighting

The submitted photometric study complies with the Warren County Rural Zoning Code.

AREA	
	
CANOPY	
	
WALL MOUNTED	
	
COVELINE	
	
WALL MOUNTED	
	
WALL MOUNTED	
	



Union Village PUD Stage 1

PUD Stage 2, Stage 3 and Subdivision Review Process

Standards for “Special Districts”
may be added and/or amended
at Stage 2.

PUD STAGE 2, STAGE 3 AND SUBDIVISION REVIEW PROCESS

PUD Stage 2

(Approved by BOCC)

- Stage 2 includes all details show at Stage 1 in addition to the following:
 - Stage 2 is a general subdivision plan.
 - It shows undimensioned proposed parcel lines, undimensioned and semi-conceptual locations for stormwater detention basins.
 - It does not show commercial building footprints.
 - It shows a more detailed road layout and trail/sidewalk connections.
 - Establishes criteria for determining major and minor amendments.
 - Each Stage 2 will show all previously approved sections.
 - Standards for “Special Districts” may be added and/or amended at Stage 2.
 - “Major” modifications to the Stage 1 PUD may be reviewed concurrently with Stage 2.

Warren County Rural Zoning Code

Parking Space Definition



Parking Space: An area of a parking lot designated for the parking of a single motor vehicle (see parking lot and parking space, handicapped).

Parking Space, Handicapped: A parking space sized and maintained with permanent signage and markings for use by the handicapped, in conformance with the requirements of the Americans With Disabilities Act (Public Law 101-336), as amended

Union Village PUD Stage 1 Special Districts 3 & 4 Standards

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL

Purpose and Intent:

The Purpose and Intent for Special Districts 3 and 4, Regional Commercial is to provide an expanded range of commercial uses might not as readily conform to the pedestrian-friendly design requirements of the more walkable community types that comprise Union Village. The proximity of these districts will enable easy patronage by those in Union Village while accommodating the automobile traffic (and parking) demands of the surrounding region. This is essential as the success of the preponderance of these uses will rely on the support of the broader region.

Special Districts 3 & 4 seek to provide Union Village with a broader range of goods and services than can be accommodated with the walkable, mixed-use neighborhoods. The uses will tend to have a higher parking demand or other requirements that might compromise the walkability of the neighborhood but would nevertheless be advantageous to have in close proximity. The intent is that these Special Districts would be easily accessible from Union Village neighborhoods using predominantly neighborhood streets and paths. At the same time, it is expected that the success of uses within these Special Districts is dependent upon the patronage of those from the greater region. Thus, these Special Districts shall be readily accessible to routes 63 and 741 and adequate (though not necessarily abundant) parking shall be provided.

Uses Permitted:

- All allowable land uses within the Community Commercial Business Zone (B2) as indicated in the Warren County Rural Zoning Code
- All uses described as "Open Residential, Open Lodging, Open Office, Open Retail, Open Civic or Open Institutional" in the PUD Zoning Standards Uses.
- as well as...
- Tattoo & Body Piercing Parlor
- Pawn Shop
- Commercial Stable
- Nursery
- Automobile Fueling Station
- Automobile Oil Change, Lube, Light Service
- Automobile Body Repair Shop
- Automobile General Repair
- Automobile and/or Truck Washing Facility
- Paint Mixing & Spraying Facility
- Plastic & Rubber Products Manufacture
- Similar Uses: For a proposed use not listed herein, a Variance or a Minor Modification may be issued as described elsewhere in these PUD Zoning Standards.

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL (CONT.)

Thoroughfares:

These Special Districts shall be planned in a pattern of streets and blocks that is an extension of the thoroughfare network of Union Village. The proposed thoroughfares within these Special Districts shall include direct internal connections to Union Village as well as provide for additional future connections. To that end, the thoroughfares in these SDs shall be designed as much like the thoroughfares in the PUD Zoning Standards Thoroughfares as reasonably feasible. At a minimum, underground utilities, lights, trees, sidewalks, etc., shall follow the pattern of the thoroughfare network leaving parking lots largely free of obstructions to future infill development. In places where the thoroughfares are not interrupted by drive aisles, on-street parking should be provided. Sidewalks, at least 8 feet in width, shall be provided along facades and between all entrances and all other sidewalks. Sidewalks shall maintain a clear pedestrian zone of 8 feet in width.

Parking:

Parking lots will generally occupy a "block" bounded by thoroughfares designed as described above. The parking blocks are to be conceived as "holding uses" which could be retrofitted for potential future development. However, at present they will be necessary as parking to serve the proposed uses. These parking blocks should be no wider than 250' (four rows of double-load, head-in parking) by 600' or so in length (a typically block size). Bigger blocks could be considered with a proposal for how they might reasonably be retrofitted into smaller blocks in the future with little or no change to infrastructure such as lights, trees, sidewalks, etc. To the extent reasonable, parking lots should be designed for dual uses such as farmers markets, basketball tournaments, fairs, Christmas tree sales, and the like. This suggests that the use of curbs, wheel stops, etc. requires consideration beyond simply that of the car.

Landscaping shall include tree-lined thoroughfares as part of the thoroughfare network. Planting strips containing these trees should be planted with grass where pedestrians are likely to cross, hedges where it is unsafe for pedestrians to cross, and ground cover and/or shrubs elsewhere. Landscaping should be used to minimize the visibility of and/or enhance the appearance of the parking lots from SR, 63 and 741.

Lighting shall be sufficient for pedestrians, bicycles, automobiles to use the parking lot safely. All fixtures shall be dark-skies friendly and not allow light to spill across the property lines.

The parking requirements of the Warren County

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL (CONT.)

Code shall apply less a 15% reduction justified by the proximity of and accessibility to the walkable communities surrounding them.

Urban Standards:

Building placement, whether principal buildings or out parcel buildings, should:

- reinforce the network of thoroughfares and parking blocks previously described,
- facilitate and support walkability where this is likely to occur. Pedestrian activity along SR, 63 seems unlikely, therefore, it should not be expected that building would be placed in close proximity to SR, 63 for that reason.
- shape common gathering spaces such as squares and plazas. Such squares and plazas should be furnished, lit and landscaped to facilitate their use and enhance community interaction.

The primary facade and the primary building entrance shall face a thoroughfare, square or plaza.

All facades of a given building shall be of the same materials and detailing. Elevations of the same building shall be compatible with the facades but the level of detail may be simplified. Buildings with all sides equally visible should have similar materials and detailing on all sides.

Architectural Standards:

The architectural design of buildings within each Special District should be harmonious and reinforce a common character. Themed restaurants, commercial chains, and other franchise-structures may need to adjust some aspects of their standard architectural model to support this more important intent.

All facades of a given building shall be of the same materials and detailing. Elevations of the same building shall be compatible with the facades but the level of detail may be simplified. Buildings with all sides equally visible should have similar materials and detailing on all sides.

The primary building entrance shall be clearly distinguished with a higher level of detail and a portico, canopy or other cover.

Walls of one-story commercial buildings fronting thoroughfares should be 50% glazing between 2' and 12' above the adjacent sidewalk elevation. This glazing shall be clear, not tinted, and offer views a minimum of 20' into the depth of the building. For single tenants occupying over 200' of continuous frontage this requirement shall apply for the first 200' of frontage and may be reduced by half for the remaining frontage.

Mixed-use and office buildings shall follow the

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL (CONT.)

architectural requirements of buildings in the T5 zone.

Pitched roofs should be simple shapes. Flat roofs should have parapet walls scaled to the height of the elevation and sufficient to conceal most roof-mounted equipment. Equipment not concealed by a parapet wall may need to be screened by a separate enclosure. If so, this enclosure should be as understated and inconspicuous as possible. Equipment should be placed on the roof in the least conspicuous location possible.

Building materials:

Permitted building materials include those in the Union Village Architectural Standards. Split face and decorative concrete block may be used as a base or foundation material on facades and for elevations.

Signage:

The following principles shall control the computations of sign area and sign height.

Sign area. The area of a sign face shall be computed by means of the smallest square, circle, rectangle, triangle, or combination thereof that shall encompass the extreme limits of the writing, representation, emblem, or other display, together with any material or color that is an integral part of the background of the display or used to differentiate the sign from backdrop or structure against which it is placed. This area does not include supporting framework, bracing, or decorative fence or wall unless such structural support is determined by the County Zoning Inspector to constitute an integral part of the sign design or is determined to be designed to attract attention. Signs may have two faces, but no more. Two signs placed back to back and part of the same sign structure, the sign area shall be computed by the measurement of one of the faces.

Window Area. Where the sign area is based on the total window area, the window area shall be calculated as the total area of glass windows on the building frontage.

Sign Height. The height of a sign shall be computed as the distance from the average natural grade at the base of the sign or support structure to the top of the highest attached component of the sign. A freestanding sign on a man-made base, including a graded earth mound, shall be measured from the average natural grade, where the sign is to be located, prior to the addition of the sign.

Permitted Signs include the following:

One Entrance Monument Sign or Entrance Wall Sign is permitted at each development en-

Union Village PUD Stage 1 Special Districts 3 & 4 Standards

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL (CONT.)

distance from State Routes 63 and 741 and Greentree Road.

- **Entrance Monument Signs.** An Entrance Monument Sign shall be freestanding with a maximum sign area of 30 square feet per side with a maximum of two sides. The sign shall be a maximum of five feet high. The sign shall not include any changeable copy, shall not bear a commercial message and shall not be internally illuminated.
- **Entrance Wall Signs.** An Entrance Wall Sign shall be attached to a wall. The maximum sign area is 30 square feet per side. The sign shall be a maximum of five feet high. The sign shall not include any changeable copy, shall not bear a commercial message and shall not be internally illuminated. The wall to which it is mounted may be a maximum of 12 ft. high with piers of a maximum of 15 ft. high.

Wall, Projecting, Canopy, or Awning Signs. Wall signs (integral or attached to a building), projecting, canopy, or awning signs are permitted in accordance with the following:

- The maximum square feet of any combination of wall, projecting, canopy, or awning signs on a single structure shall not exceed one square foot per lineal foot of building frontage. The allowable sign area may be allocated to more than one sign.
- The above ratio shall apply separately to each building frontage that faces a public or private street.
- Allowable sign area may be allocated to a wall that is not building frontage, but the combined sign area shall not exceed the maximum square feet allowed.
- No changeable copy sign shall be permitted.
- No wall sign shall project more than 15 inches beyond any building facade, canopy facade, or wall.
- Wall signs shall be limited to individually mounted letters or logos. Back-lit light box style signs that have interchangeable sign faces shall be prohibited.
- Awnings shall not be backlit. Awnings may incorporate signage but the total area of signage on an awning shall be counted as part of the maximum wall sign area permitted for the building.
- Signs located on canopies for the sale of automotive fuel shall be considered canopy signs. Such canopies shall be considered a separate structure for the purpose of determining allowable sign area. The maximum area of signs on such structures shall not exceed one-half

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL (CONT.)

square foot per lineal foot of canopy building frontage. The allowable sign area may be allocated to more than one sign.

Multi-family, Mixed-Use and Commercial Buildings shall have their signage integrated into the building entablature or entrance portico or a similar location otherwise incorporated into the architecture.

Signs for Civic Buildings at T3, T4 and within Parks and Greens shall be either Free Standing or incorporated into the architectural design of the building. Signs for Civic Buildings at T5 shall be incorporated into the architectural design of the building.

Changeable Copy. Freestanding signs may include a changeable copy sign provided that it does not comprise more than 75% of the total sign area. The changeable copy shall not change more than one time per 60-second period. The changeable copy sign may be manually changed or may be an electronic message sign but electronic messaging areas shall not comprise more than 25% of the total sign area. The changeable copy sign shall have an automatic dimming capability that adjusts the brightness to the ambient light at all times of day and night.

Fuel Price Displays. Digital fuel price signs are permitted for automotive fuel sales. Such price signs shall be included in the allowable sign area for the use.

Menu Boards. Menu boards are permitted.

Prohibited signs include the following:

- backlit signs
- free-standing signs, except the entrance signs
- Signs in the right-of-way unless specifically permitted in this article
- Signs Exempt from these standards
- Pennants, banners (except Temporary Signs), streamers and similar type devices intended to grab the attention of drivers or pedestrians
- Roof signs, except neon signs on an open metal framework
- Flags intended for advertising or commercial purposes
- Signs emitting sounds
- All portable advertising signs (mobile signs on wheels, etc.) and signs mounted, attached, painted, etc. on trailers, boats or motor vehicles except those on licensed commercial delivery and service vehicles
- Beacons and searchlights, except for emergency purposes
- Off-premise signs
- Billboards
- Flashing, moving, blinking, raster type, inter-

SPECIAL DISTRICTS 3 & 4: REGIONAL COMMERCIAL (CONT.)

mittent, rotating, moving or revolving signs, whirling devices, inflatable signs and tethered balloons, ribbons, spinners, and other similar types of attention-getting devices

- Merchandise, equipment, products, vehicles or other items not themselves for sale and placed for attention-getting, identification or advertising purposes
- Back-lit light box style signs.



Southwest Golf Ranch

Revised PUD Stage 2

Union Township

Prepared for the Board of County Commissioners

Date: August 20, 2024

PUD Stage 2 Process

**Regional Planning
Commission**
(Recommendation
June 27, 2024)

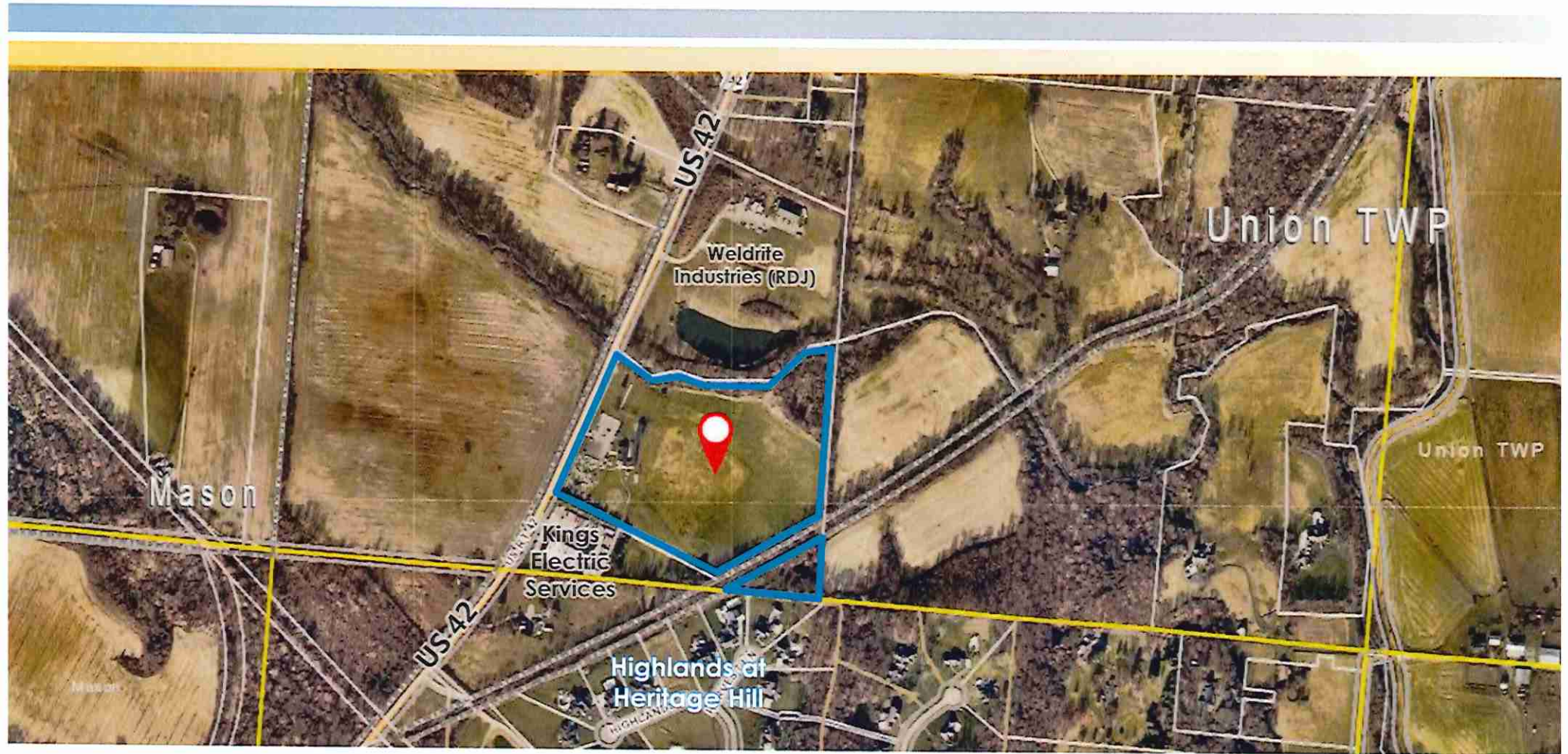
**Board of County
Commissioners**
(Decision)

PUD Stage 2 was approved for this Subject Site on April 11th, 2000, as part of the Deerfield Manufacturing Company PUD.

Project Overview

Property Owners	Chinar Property Group LLC and Scott & Jill Aston
Site Location	2880 S. Rt. 42, Lebanon, OH 45036
PUD Site Area	26.3222-Acres
Zoning	B-2 PUD Community Commercial Business
Current Use	Golf Driving Range & Miniature Golf
Wastewater	On-site

Vicinity Map



Aerial

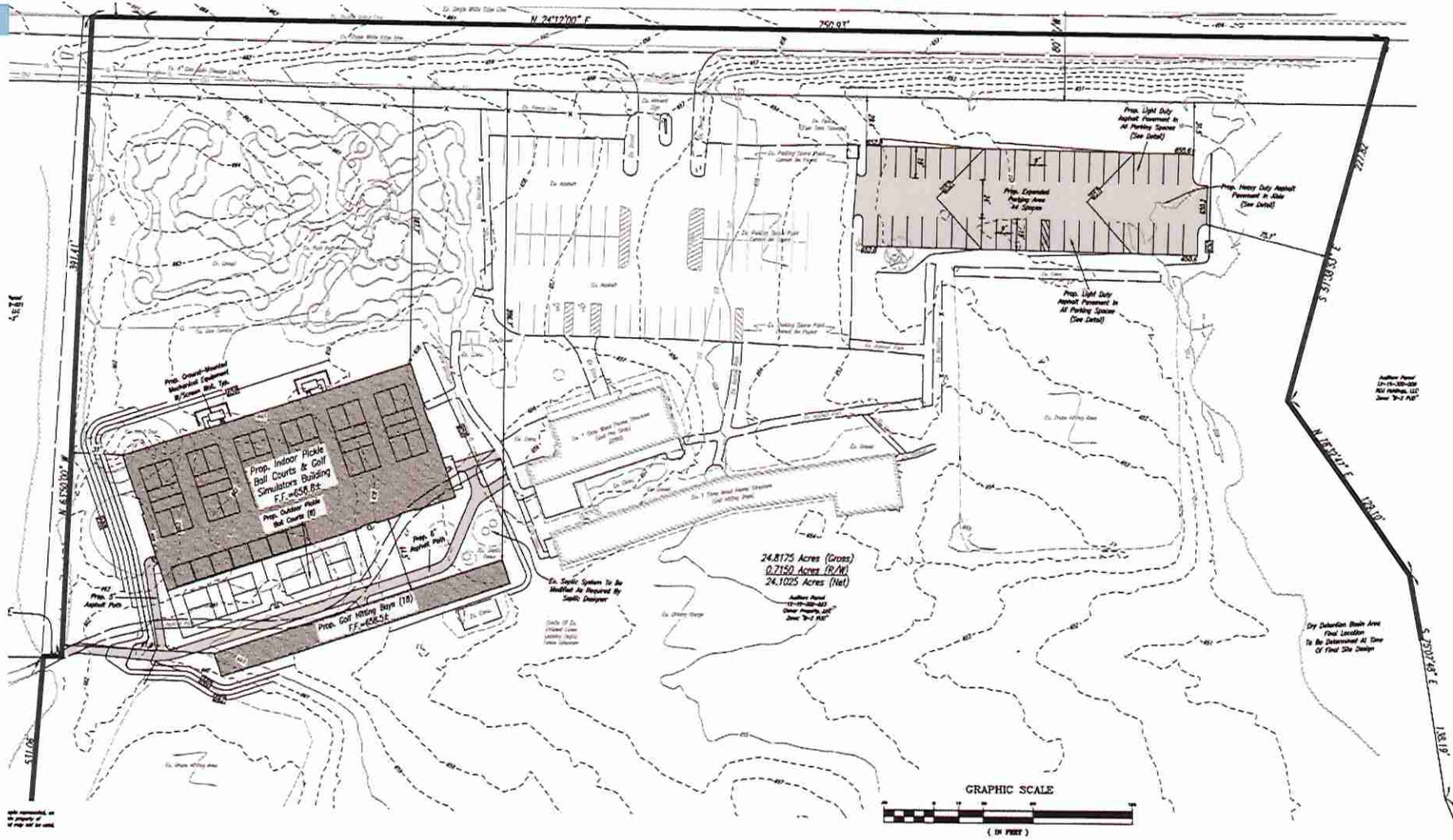


The Southwest Golf Ranch PUD is divided by the Lebanon Mason Monroe Railroad.

PUD Stage 2 Required

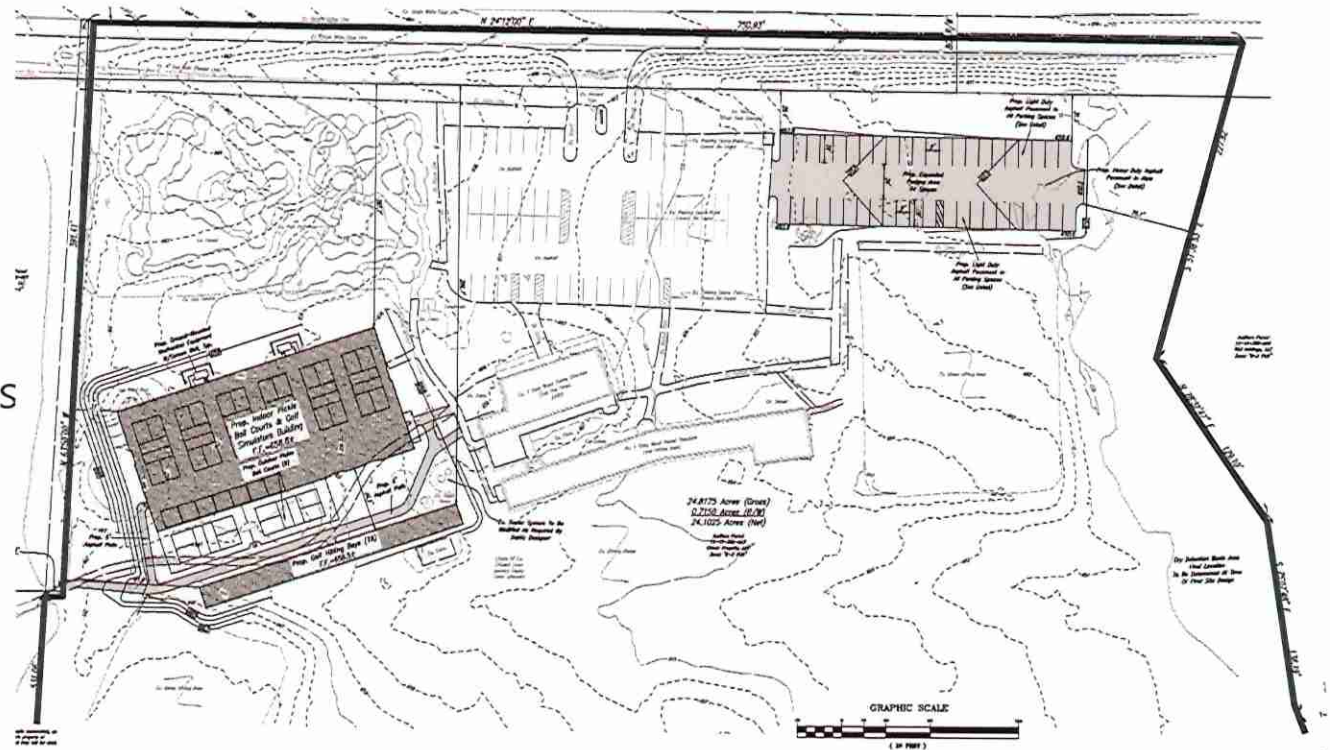
- Added New Use (Indoor Recreational Facility)
- Changes in the Site Plan
 - Two new buildings
 - Additional Parking (65 current spaces, with an additional 44 proposed spaces)
 - Exceeding the previously established building height of 20 feet (Approved at PUD Stage 2 on April 11th, 2000, Resolution #00-634). **A 35 foot structure is proposed.**

Proposal



Proposal

1. 15,940 S.F Indoor
Recreational Facility
 - a. Six (6) Pickleball Courts
[Indoor]
 - b. Two (2) Pickleball Courts
[Outdoor]
 - c. Seven (7) Golf
Simulators
2. Golf Driving Range Bays

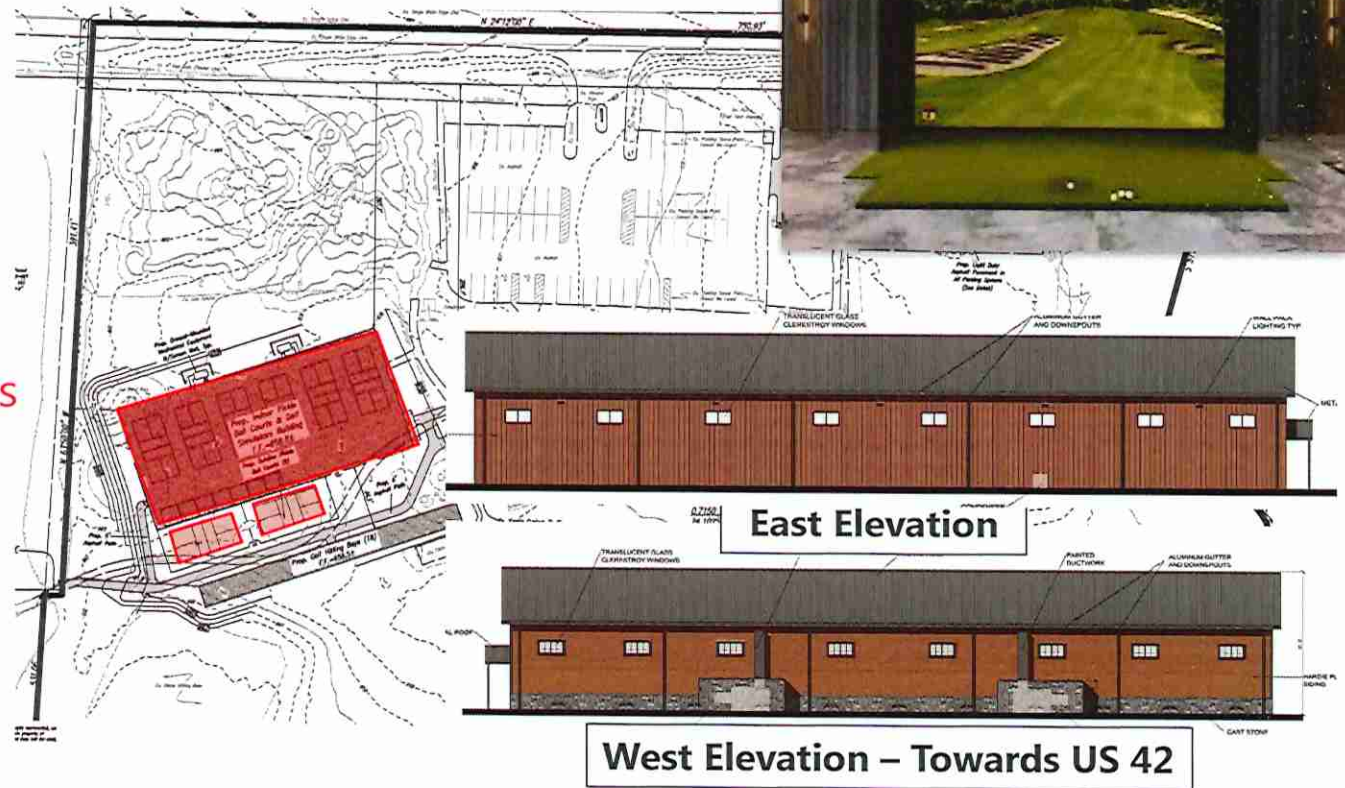


Proposal

1. 15,940 S.F Indoor Recreational Facility

- a. Six (6) Pickleball Courts
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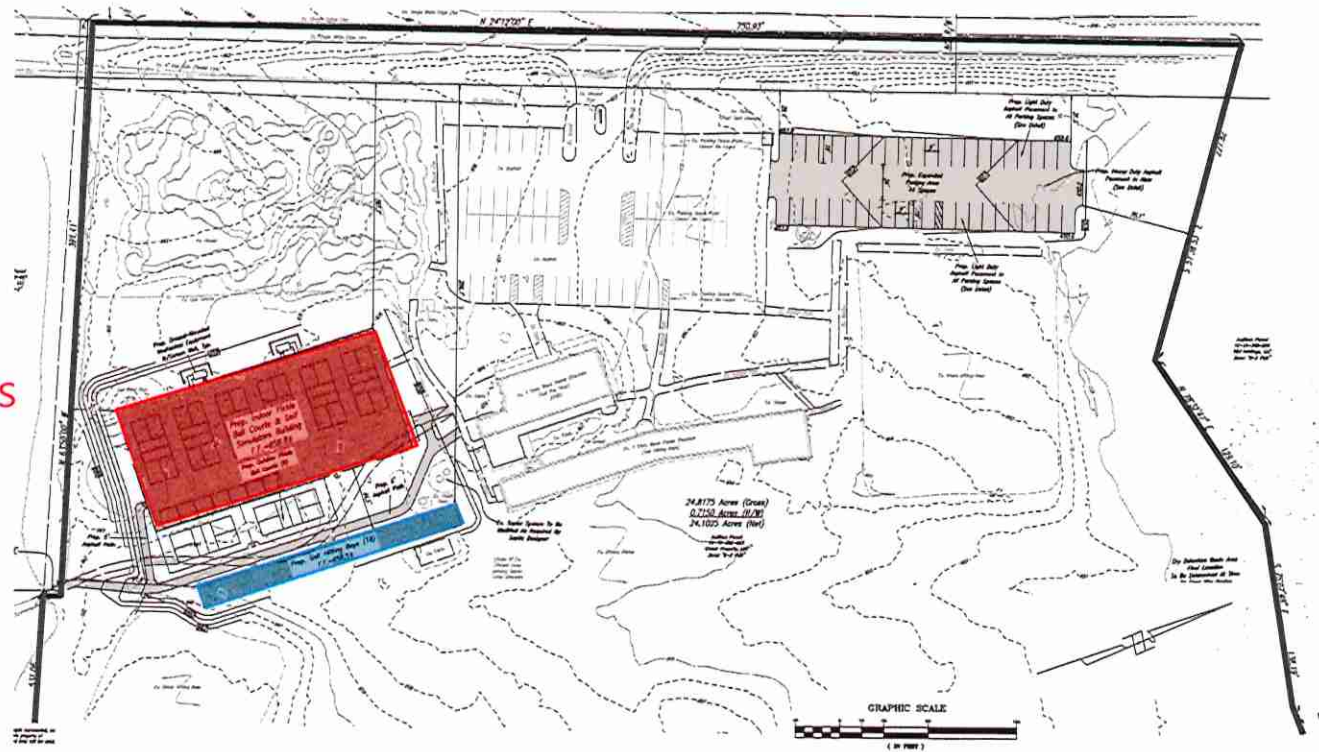


Proposal

1. 15,940 S.F Indoor Recreational Facility

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Simulators

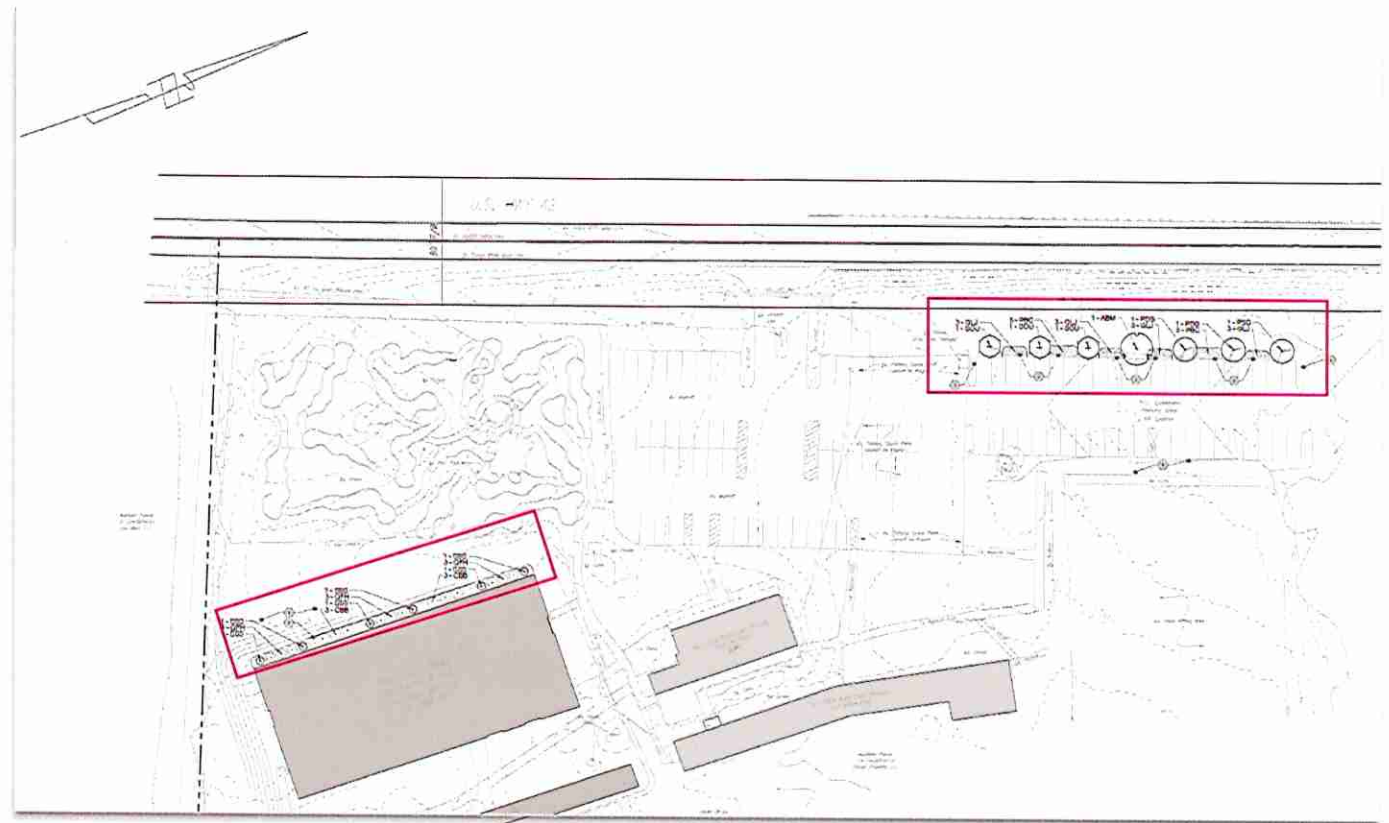
2. Golf Driving Range Bays



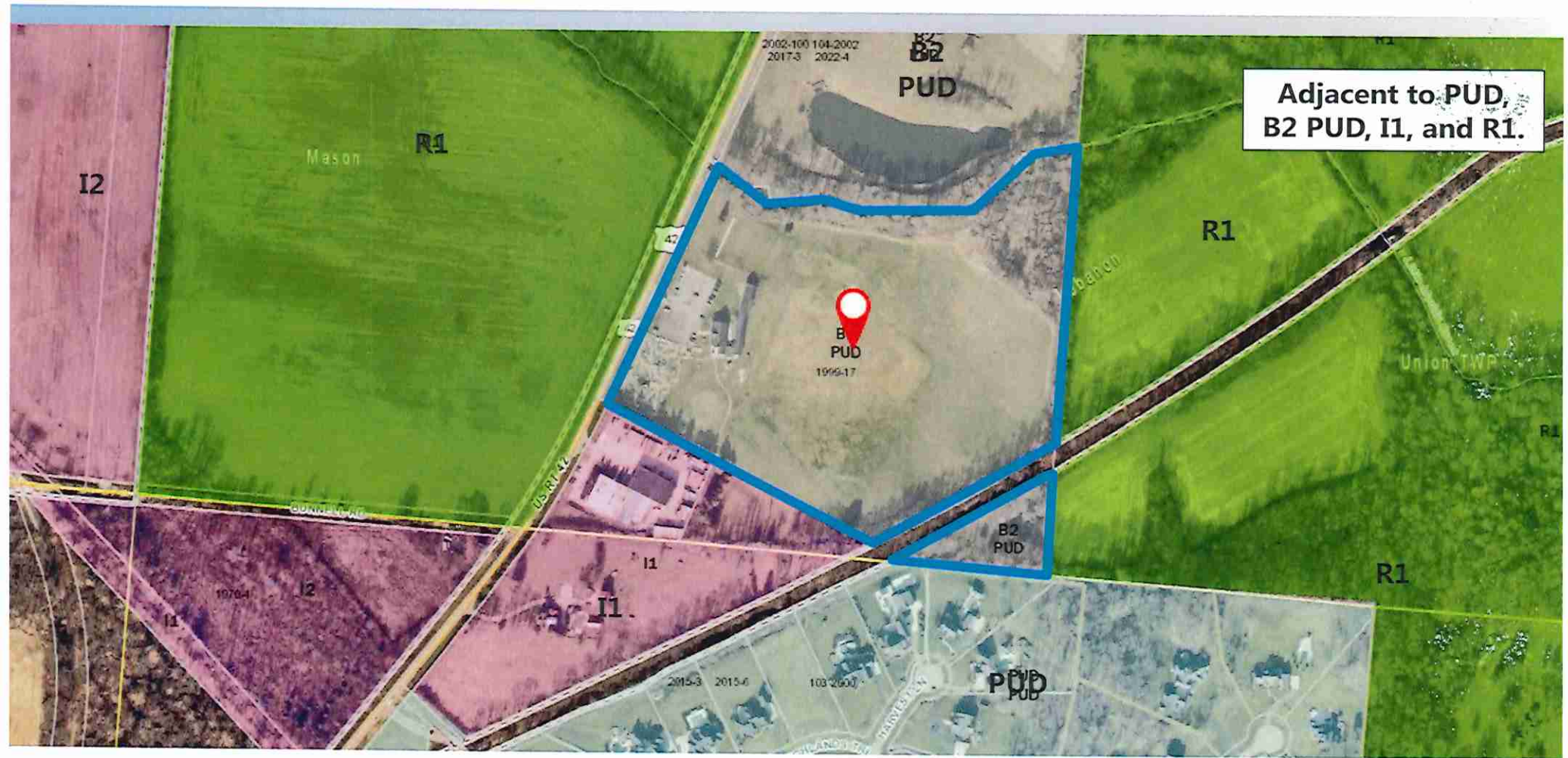
Buffers

Additional landscaping illustrated along:

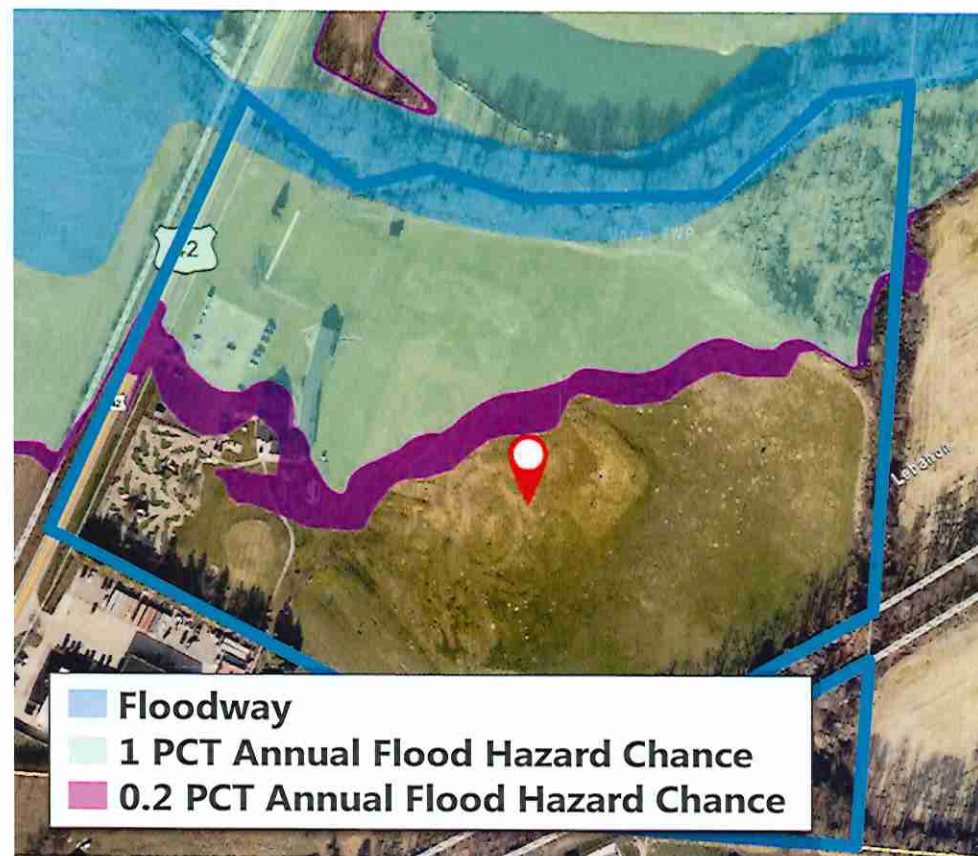
- **Expanded parking lot and US 42.**
- **Proposed building and US 42.**



Zoning



Environmental Features



Staff Recommendation

Staff recommends approval of the **Southwest Golf Ranch PUD Stage 2** to the Warren County Board of Commissioners, subject to the following conditions:

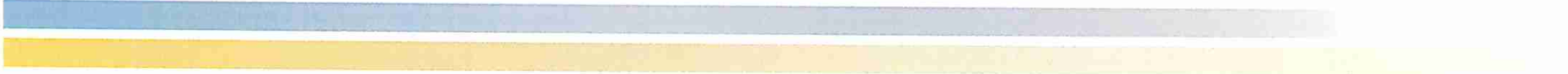
1. All plans and proposals from the applicant shall be made conditions of approval unless modified by one of the following conditions.
2. Compliance with the Warren County Subdivision Regulations, the Warren County Zoning Code, the Warren County Thoroughfare Plan, and the PUD Stage 1 conditions of approval (Resolution# 99-2044).
3. Compliance with the Warren County Soil and Water Conservation District (SWCD) Erosion and Sediment Control Plan requirements. Prior to construction, an Earth Disturbing permit must be obtained from the Warren County Soil and Water Conservation District if more than an acre of disturbance is planned. The applicant shall work with the Warren County Floodplain Administrator regarding flood zones located on the property, and to determine if permitting is required.

Staff Recommendation

- 4. The applicant shall contact the Ohio Department of Transportation (ODOT) for review and to determine if a traffic impact analysis is necessary. If a traffic impact analysis is required, the analysis shall be conducted prior to approval of PUD Stage 3. The site's internal vehicular circulation shall be reviewed and approval by the Warren County Engineer's Office prior to the approval of PUD Stage 3.**
5. Water facilities shall comply with the Warren County Water & Sewer Department standards, and any improvements deemed necessary by the Warren County Water & Sewer Department shall be installed by the developer.
6. On-site septic systems shall be reviewed and approved for each use by the Warren County Health Department / Ohio EPA. If it is determined that the subject site will generate more than 1,000 gallons of wastewater per day, the Ohio EPA will have jurisdiction to review the septic system.

Staff Recommendation

7. **Buildings comply with the architectural designs approved by the Warren County Board of Commissioners.**
8. **Maximum building height shall be established at 35 feet.**
9. Prior to PUD Stage 3, the applicant shall submit an updated Site Plan, in compliance with the WCRZC 1.303, identifying:
 - a. The entire PUD area (Parcels 12-15-300-023 & 12-15-300-022).
 - b. The approved parking dimensions, in compliance with the WCRZC 3.311 (C).
 - c. Building elevations and dimensions for the golf driving bay expansion.
 - d. Additional landscaping for the existing parking along Highway 42, in compliance with the WCRZC 3.403 (B).
 - e. Location and dimensions of all existing and proposed easements.
 - f. Location of the septic system(s) and leach fields for each use.
10. Review and approval from the Warren County Engineer's Office and Soil & Water Conservation District regarding the proposed stormwater management plan.

Two horizontal bars are positioned at the top of the slide. The upper bar is blue with a gradient that fades to white on the right. The lower bar is yellow with a gradient that fades to white on the right.

Backup Slides

Submitted Narrative Letter

Dear Members of the Warren County Board of Commissioners,

On behalf of the owners of the above property, Chinar Property Group, we are requesting the current PUD be modified to accommodate a new building to the property. The building will be approximately 15,940 square feet. The building will house golf simulators along with six pickle ball courts. In addition there will be built an open sided structure housing eighteen golf hitting bays that is like the current hitting bay building.

The B2-PUD element that needs to be modified for the building is it's height. The current clubhouse is 20' tall. We are requesting a modification to 35 feet which is the same height restriction as residential zoning and would allow for superior pickle ball play.

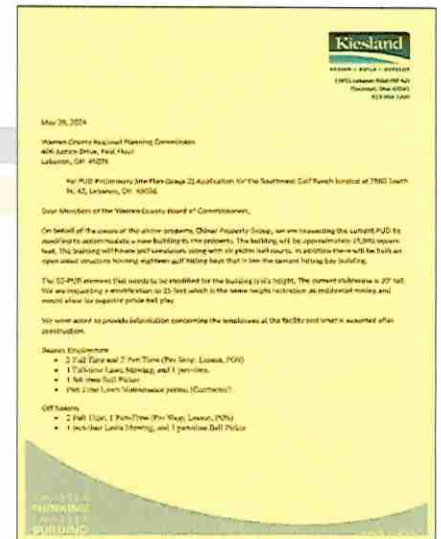
We were asked to provide information concerning the employees at the facility and what is expected after construction.

Season Employment

- 3 Full Time and 2 Part Time (Pro Shop, Lesson, POS)
- 1 Full-time Lawn Mowing, and 1 part-time.
- 1 full time Ball Picker
- Part Time Lawn Maintenance person (Contracted)

Off Season

- 2 Full Time, 1 Part-Time (Pro Shop, Lesson, POS)
- 1 part-time Lawn Mowing, and 1 part-time Ball Picker



Submitted Narrative Letter – Page 2

After The New Building (due to the indoor facility, it will be all year-round)

- 4 Full Time
- 3 Part Time
- 1 Full-time Lawn Moving, and 1 part-time.
- 1 full time Ball Picker
- 1 Part-time Ball Picker
- Part-Time Lawn Maintenance person (Contracted)

The hitting bay building has not been fully designed, below are a couple of pictures of the current building.



Kiesland
ARCHITECTURE
PLANNING
11905 Lakeside Road, Suite 101
Lebanon, OH 45036

May 29, 2024

Women County Agricultural Planning Commission
400 North Drive, 4th Floor
Lebanon, OH 45036

Re: PUD Modification Site Plan (Stage 2) Application for the Southeast Golf Course located at 2860 North
H. St., Lebanon, OH 45036

Dear Members of the Women County Board of Commissioners,

On behalf of the owners of the above property, Chover Property Group, we are requesting the current PUD be modified to accommodate a new building on the property. The building will be approximately 15,000 square feet. The building will house golf simulators along with six practice ball areas. In addition there will be built an open-air structure housing eighteen golf hitting bays that is like the current hitting bay building.

The current PUD amendment that needs to be modified for the building is it's height. The current clubhouse is 22' tall. We are requesting a modification to 30' feet which is the same height requirement as residential zoning and would allow for support picnic ball play.

We were asked to provide information concerning the employees at the facility and when it is needed after construction.

Seasonal Employment

- 2 Full Time and 2 Part Time (Two Mow, Lawn, PDI)
- 1 Full-time Lawn Mowing, and 1 person.
- 1 full time Ball Picker
- Part Time Lawn Maintenance person (Contractor)

Off Season


- 2 Full Time, 1 Part-Time (Two Mow, Lawn, PDI)
- 1 part-time Lawn Mowing, and 1 part-time Ball Picker

LET'S BUILD SOMETHING TOGETHER

After The New Building (due to the indoor facility, it will be all year-round)

- 4 Full Time
- 3 Part Time
- 1 Full-time Lawn Moving, and 1 part-time
- 1 full time Ball Picker
- 1 Part-time Ball Picker
- Part-Time Lawn Maintenance person (Contracted)

The hitting bay building has not been fully designed, below are a couple of pictures of the current building.

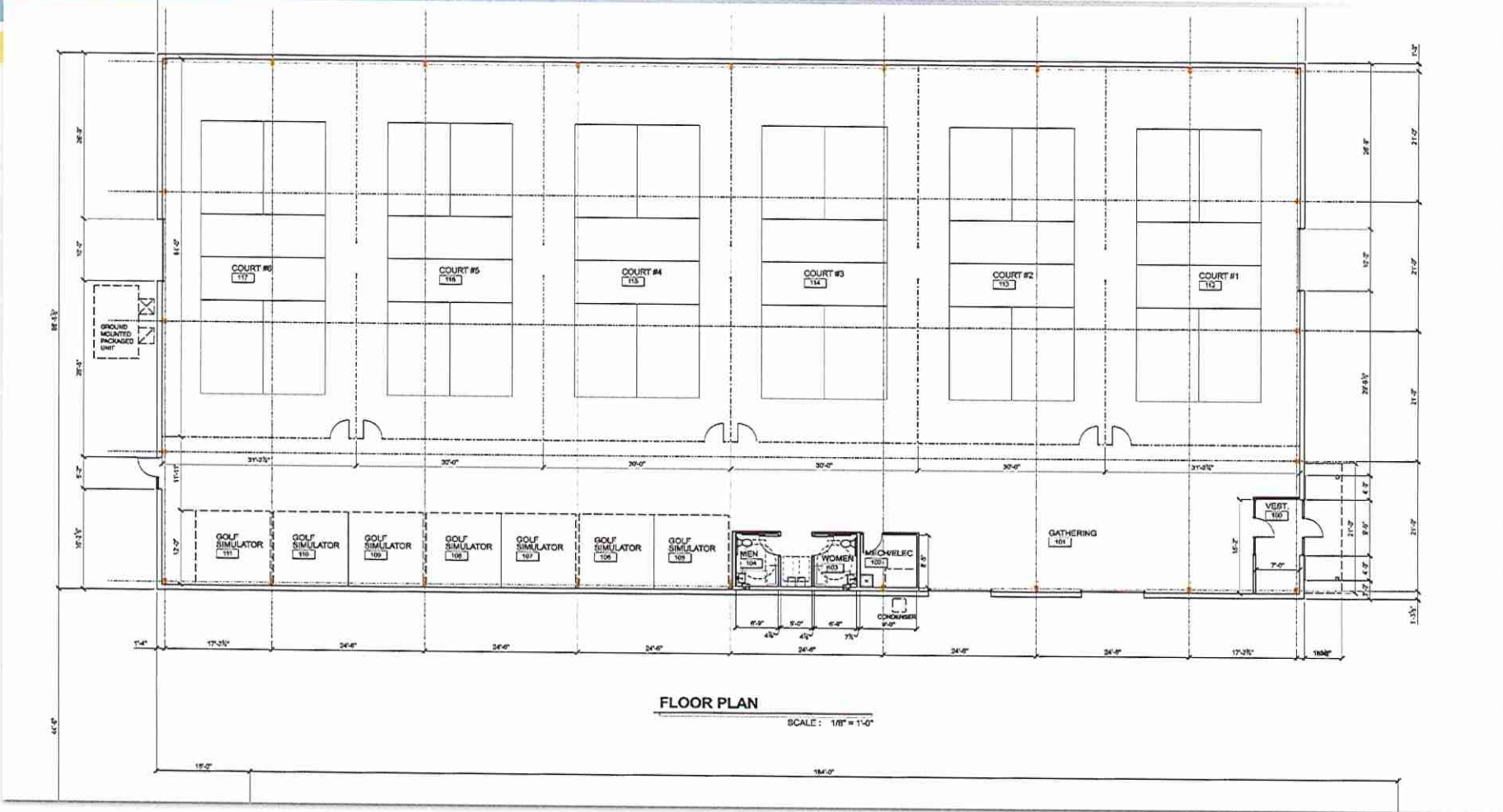


Best regards,

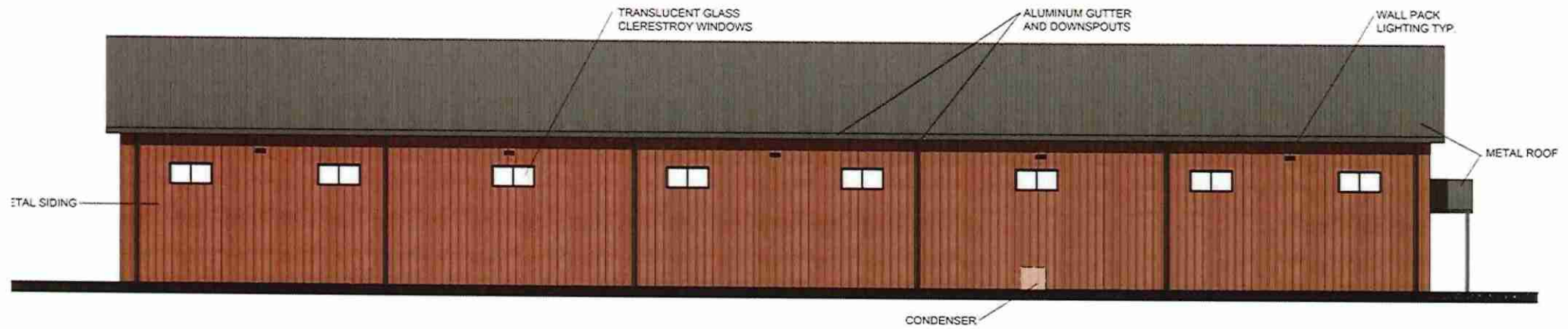
Shirley M. Wood
Shirley M. Wood
owner@chovergroup.com
513.444.9700 ext. 2

LET'S BUILD SOMETHING TOGETHER

Indoor Recreational Facility – Floor Plan

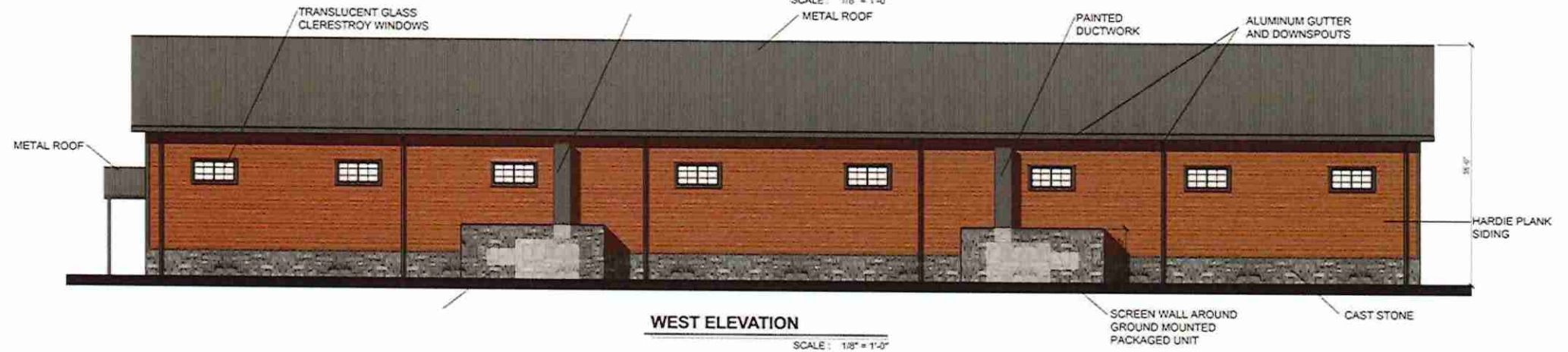


Indoor Recreational Facility – Elevations



EAST ELEVATION

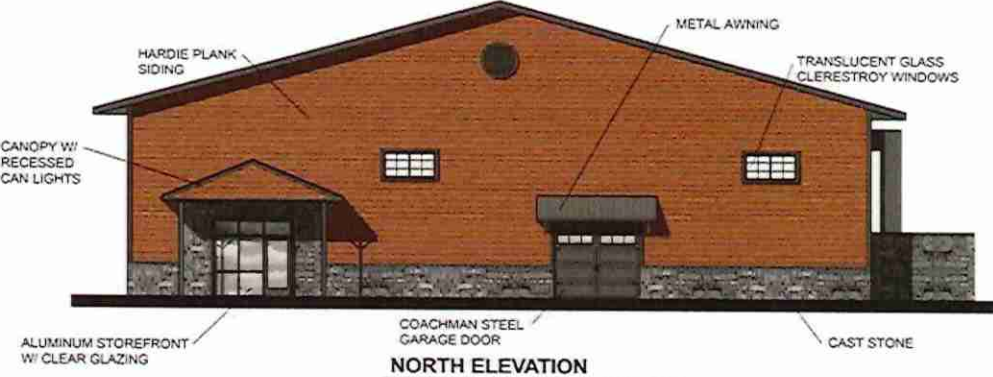
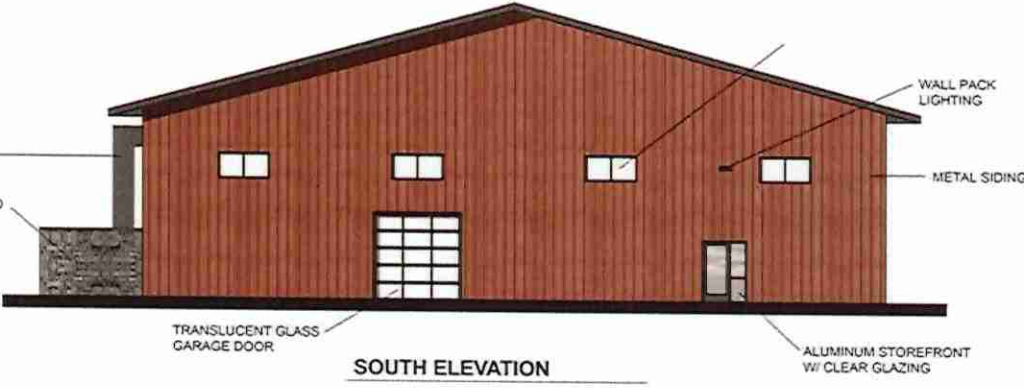
SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

Indoor Recreational Facility – Elevations



PUD Stage 2 Approval (Resolution# 00-634)

BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO

99-38

Resolution

Number 00-634

Adopted Date April 11, 2000

APPROVE THE PRELIMINARY SITE PLAN FOR THE KEVIN O'SULLIVAN PROPERTY (aka Deerfield Manufacturing PUD)

BE IT RESOLVED, to approve the preliminary site plan for the Kevin O'Sullivan Property (aka Deerfield Manufacturing) in Union Township, subject to the following conditions:

1. Compliance with Warren County Commissioners Resolution 99-2044.
2. Approval of the access driveway intersection location and design by the Ohio Department of Transportation (ODOT), including any necessary improvements along U.S. Route 42, per the Requirements and Standards for the Design and Construction of Streets and Roadway Facilities. Any additional right-of-way needs in relation to said improvements shall comply with the Warren County Official Thoroughfare Plan.
3. Approval of on-site vehicular circulation by the Warren County Engineer and the Union Township Fire Department.
4. Approval of stormwater control by the Warren County Engineer, per the Rules and Regulations for the Design of Stormwater Management Systems.
5. Compliance with the Warren County Flood Damage Prevention Regulations, as determined by the Warren County Building Department. Development in the 100 year flood plain shall be subject to compaction testing of any filled areas as to load bearing capacity for support of proposed structures.
6. Approval of erosion and sediment control by the Warren County Soil & Water Conservation District, in compliance with the Warren County Erosion and Sediment Control Regulations, prior to beginning any earth moving activities.
7. Approval of a detailed landscaping plan, including screening of the trash dumpster, prior to final site plan approval. Mature vegetation along the outside boundaries of the site shall be maintained and reflected as such on the final site plan.

APR 13 2000

RESOLUTION 00-634
APRIL 11, 2000
PAGE 2

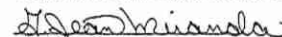
8. Approval of a detailed signage plan, prior to final site plan approval. A single twin-faced, internally-illuminated, ground-mounted entry sign, not to exceed 12 feet in total height and 54 square feet per face, along with one (1) single-sided clubhouse front wall sign, per the same size specifications, shall be permitted. Directional and driving range yardage distance signs as necessary, without illumination, shall be subject to Zoning Inspector approval. Sight-distance evaluation by ODOT so to prevent any obstruction by the entry sign.
9. Approval of a detailed lighting plan, including photometric analysis, prior to final site plan approval. Illumination shall not pose a glare nuisance and shall not exceed 0.2 footcandles along outside boundaries of the PUD zoned for residential uses. The Warren County Commissioners reserve the right to further restrict exterior lighting, as deemed necessary.
10. Submission of building elevation drawings for the clubhouse, prior to final site plan approval.
11. Development of the proposed miniature golf course shall be subject to approval of detailed architectural drawings. Total height of any structure or fixture shall not exceed the total height of the clubhouse.
12. Future development of the 1.505 acre remainder to the southeast shall be subject to approval of a revised preliminary and final site plans by the Warren County Commissioners. The depicted future expansion of the covered tees, miniature golf course and parking lot, shall be subject to approval of a revised final site plan by the Warren County Commissioners.
13. Outdoor golf activities shall be restricted to between daylight and 10:00 P.M.

Mr. Crisenbery moved for adoption of the foregoing resolution, being seconded by Mr. Kilburn. Upon call of the roll, the following vote resulted:

Mrs. South - yea
Mr. Kilburn - yea
Mr. Crisenbery - yea

Resolution adopted this 11th day of April, 2000

BOARD OF COUNTY COMMISSIONERS


Tina Davis, Clerk

cc: RPC
Plat File

PUD Stage 2 Approval (Resolution# 00-634)

RESOLUTION 00-634
APRIL 11, 2000
PAGE 2

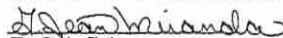
8. Approval of a detailed signage plan, prior to final site plan approval. A single twin-faced, internally-illuminated, ground-mounted entry sign, not to exceed 12 feet in total height and 54 square feet per face, along with one (1) single-sided clubhouse front wall sign, per the same size specifications, shall be permitted. Directional and driving range yardage distance signs as necessary, without illumination, shall be subject to Zoning Inspector approval. Sight-distance evaluation by ODOT so to prevent any obstruction by the entry sign.
9. Approval of a detailed lighting plan, including photometric analysis, prior to final site plan approval. Illumination shall not pose a glare nuisance and shall not exceed 0.2 footcandles along outside boundaries of the PUD zoned for residential uses. The Warren County Commissioners reserve the right to further restrict exterior lighting, as deemed necessary.
10. Submission of building elevation drawings for the clubhouse, prior to final site plan approval.
11. Development of the proposed miniature golf course shall be subject to approval of detailed architectural drawings. Total height of any structure or fixture shall not exceed the total height of the clubhouse.
12. Future development of the 1.505 acre remainder to the southeast shall be subject to approval of a revised preliminary and final site plans by the Warren County Commissioners. The depicted future expansion of the covered tees, miniature golf course and parking lot, shall be subject to approval of a revised final site plan by the Warren County Commissioners.
13. Outdoor golf activities shall be restricted to between daylight and 10:00 P.M.

Mr. Crisenbery moved for adoption of the foregoing resolution, being seconded by Mr. Kilburn. Upon call of the roll, the following vote resulted:

Mrs. South - yea
Mr. Kilburn - yea
Mr. Crisenbery - yea

Resolution adopted this 11th day of April, 2000

BOARD OF COUNTY COMMISSIONERS


Tina Davis, Clerk

cc: RPC
Plat File

Condition #11: Development of the proposed miniature golf course shall be subject to the approval of detailed architectural drawings. Total height of any structure or fixture shall not exceed the total height of the clubhouse

Revised PUD Stage 2 Approval (Resolution# 01-64)

BOARD OF COUNTY COMMISSIONERS
WARREN COUNTY, OHIO

Resolution

Number 01-64

Adopted Date January 11, 2001

APPROVE A REVISED FINAL SITE PLAN FOR THE GOLF RANCH (DEERFIELD MANUFACTURING PUD) IN UNION TOWNSHIP

BE IT RESOLVED, to approve a revised final site plan for the Golf Ranch (Deerfield Manufacturing PUD) in Union Township, subject to the following conditions:

1. Compliance with Warren County Commissioners Resolutions 99-2044 and 00-634.
2. The requested split rail fence shall be located outside the U.S. Route public right-of-way and shall not constitute an obstruction to sight distance or stormwater flow.

Mr. Crisenbery moved for adoption of the foregoing resolution, being seconded by Mr. Kilburn. Upon call of the roll, the following vote resulted:

Mrs. South - yea
Mr. Kilburn - yea
Mr. Crisenbery - yea

Resolution adopted this 11th day of January, 2001.

BOARD OF COUNTY COMMISSIONERS


Tina Davis, Clerk

cc: RPC
Zoning (file)
Kevin O'Sullivan